CATAMOUNT
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September 28, 2023

Water & Sewer Commission
c/o John Arneson, Town Manager
Town of Richmond
P.O. Box 285
Richmond, VT 05477

Re: Preliminary Water & Sewer Allocation Request
Allen & Lynne Knowles Family Trust III, Blair Knowles & Matt Parisi
112 Main St.
Richmond, VT 05477

Dear Commission Members,

Please find attached the following in conjunction with a new proposed 3-bedroom single family house to be located at 112 East Main St. in Richmond, VT –

- Completed Water Service Allocation Request
- Completed Sewer Service Allocation Request
- Proposed Condition Site & Detail Plans

The project involves the construction of a new, 3-bedrom, single family house at 112 E. Main St. in addition to the existing duplex apartment building.

The property is currently served by municipal water and sewer services. There is an existing ¾" copper water service on the north side of the existing duplex located approximately 15' off the northwest building corner that ties into the East Main St. water main. There is also a 4" PVC sewer service on the north side of the existing duplex located directly off the northeast building corner that ties into the East Main St. sewer main. The project proposes to connect to these two existing municipal services to serve the new single family house. A new ¾" CTS PE water service will be run from the new house to the front of the property where it will connect with a new curb stop to the existing water service. Similarly, a new 1,000 gal. concrete grinder pump station will pump sewer from the new house in a 2" PVC force main to the front of the property where it will connect with a new 2" x 4" wye connection to the existing gravity sewer service.

Regarding water demand and sewer flows, we have recently confirmed the required water and sewer allocation requirements with the State for this project. They are as follows –

- Existing Water Demand = 2 units @ 280 gpd/unit (140 gpd/bedroom @ 2 bedrooms each) = 560 gpd
- Additional Water Demand = 1 unit @ 360 gpd/unit (municipal connection) = 360 gpd
- Total Proposed Water Demand = 560 + 360 = 920 gpd

- Existing Sewer Flow = 2 units @ 210 gpd/unit (municipal connection >50,000 gpd) = 420 gpd
- Additional Sewer Flow = 1 unit @ 210 gpd/unit (municipal connection >50,000 gpd) = 210 gpd
- Total Proposed Sewer Flow = 420 + 210 = 630 gpd

At this time, on behalf of the owners of the property, we would like to respectfully request preliminary water and sewer allocation from the Town of Richmond for an additional 360 gpd of water, and 210 gpd of sewer, allocation to serve the proposed project. This would bring the total municipal water demand and sewer flow for the property to 920 gpd and 630 gpd, respectively.

If upon review of the applications and proposed plans, you have any questions or concerns, please feel free to contact me.

Sincerely,

Jeff

Jeffrey Olesky, P.E.

Cc: Matt Parisi, Owner (via email)
CCE File #23037

Town of Richmond, Vermont Form WSSPA2/95 **Application No.** _____

SEWER SERVICE ALLOCATION REQUEST
PRELIMINARY APPROVAL APPLICATION

Landowner Allen & Lynne Knowles Family Trust III, Blair Knowles & Matt Parisi
Road Name 112 E. Main St.
Mailing Address 112 E. Main St. Richmond, VT 05477

Parcel Code EM0112
Acreage 1 0.40 ac.

PLEASE FILL IN ALL BLANKS, THANK YOU.

A. Service is requested for new, 3-bedroom, single family house
(Describe use of land proposed to be serviced, ie. Single family 4 bedroom, 30 seat restaurant, etc.)

B. Allocation requested: new=210 (450 total) gallons per day based on the State of Vermont Allocation Formula or other officially adopted formula.

C. Number of units to be served 1 based on one unit equal to 450 gallons per day. *(Less than one unit is considered to be one unit, ie. 300 gallons per day is one unit.)*

D. Plans for new improvements must be attached for application to be deemed complete.

Preliminary approval is hereby requested for the above purpose and in the amount listed above. By signing and submitting this Preliminary Application Request it is further understood by the landowner that occupancy and use can not occur until FINAL APPLICATION APPROVAL is received.
No fee is required for preliminary application and approval.

Matt Parisi Blair Knowles
Landowner Signature

9-28-2023
Date

(For office use only)
The Richmond Water and Sewer Commission has reviewed the above preliminary allocation request for _____ gallons per day and hereby _____ such request based on the application and applicable ordinances, rules and regulations. Conditions applied to decision: _____

_____

_____

_____,Chairperson Date_____
Water and Sewer Commission

If Denied: 1. An appeal may be taken within 15 days to the Chittenden County Superior Court.

If Approved: 1. An appeal may be taken within 15 days to the Chittenden county Superior Court.
2. A Final Allocation Approval Request must be submitted within 60 days of preliminary approval.
3. A Town Treasurer receipt of all applicable fees in the amount of $ 926.10 must be attached to the Final Approval Request. *(Multiple checks may be requested)*

Town of Richmond, Vermont Form WSWPA2/95 Application No. _____

WATER SERVICE ALLOCATION REQUEST
PRELIMINARY APPROVAL APPLICATION

Landowner: Allen & Lynne Knowles Family Trust III, Blair Knowles & Matt Parisi
Road Name: 112 E. Main St.
Mailing Address: 112 E. Main St. Richmond, VT 05477
Parcel Code: EM0112
Acreage: ±0.40 ac.

PLEASE FILL IN ALL BLANKS, THANK YOU.

A. Service is requested for new 3-bedroom, single family house
(Describe use of land proposed to be serviced, ie. Single family 4 bedroom, 30 seat restaurant, etc.)

B. Allocation requested: new=360 (920 total) gallons per day based on the State of Vermont Allocation Formula or other officially adopted formula.

C. Number of units to be served 1 based on one unit equal to 450 gallons per day. *(Less than one unit is considered to be one unit, ie. 300 gallons per day is one unit.)*

D. Plans for new improvements must be attached for application to be deemed complete.

Preliminary approval is hereby requested for the above purpose and in the amount listed above. By signing and submitting this Preliminary Application Request it is further understood by the landowner that occupancy and use can not occur until FINAL APPLICATION APPROVAL is received.
No fee is required for preliminary application and approval.

Matthew Parisi Blair Knowles — 9-28-2023

Landowner Signature **Date**

(For office use only)

The Richmond Water and Sewer Commission has reviewed the above preliminary allocation request for _____ gallons per day and hereby _____ such request based on the application and applicable ordinances, rules and regulations. Conditions applied to decision: _____

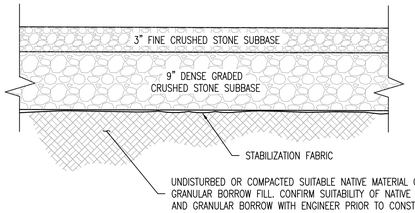
_____

_____

_____, Chairperson Date _____
Water and Sewer Commission

If Denied: 1. An appeal may be taken within 15 days to the Chittenden County Superior Court.

If Approved:
1. An appeal may be taken within 15 days to the Chittenden county Superior Court.
2. A Final Allocation Approval Request must be submitted within 60 days of preliminary approval.
3. A Town Treasurer receipt of all applicable fees in the amount of $ 680.40 must be attached to the Final Approval Request. *(Multiple checks may be requested)*



NOTES:

1. FINE CRUSHED STONE AND DENSE GRADED CRUSHED STONE TO MEET AOT SPECS 704.05 AND 704.06 RESPECTIVELY.

2. STABILIZATION FABRIC TO MEET AOT SPEC 720.01 FOR GEOTEXTILE FOR ROADBED SEPARATOR.

3. SUBBASE TO BE INSTALLED IN ACCORDANCE WITH AOT SPECS 301 AND 406, RESPECTIVELY. SAND BORROW, WHERE REQUIRED, SHALL MEET AOT SPEC 703.03.

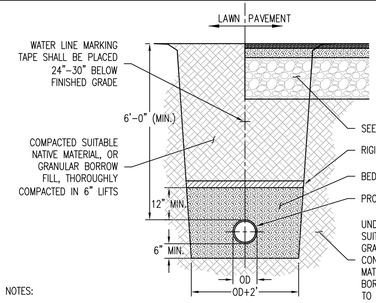
4. GRANULAR BORROW FILL TO MEET AOT SPEC 703.04.

5. COMPACTION OF SUBBASE MATERIALS TO MEET AOT SPEC 301.06.

DRIVEWAY SECTION DETAIL

1 / C2.0

N.T.S.



NOTES:

1. WATER LINES, VALVES AND FITTINGS TO MEET AOT SPEC 740 AND BE INSTALLED AND TESTED IN ACCORDANCE WITH AOT SPEC 629.

2. BEDDING MATERIAL SHALL BE SAND, GRAVEL OR CRUSHED STONE WITH NO STONES GREATER THAN 1". BEDDING MATERIAL SHALL NOT BE PLACED ON FROZEN SUBGRADE.

3. IN TRENCHES WITH UNSTABLE MATERIALS, THE TRENCH BOTTOM SHALL BE STABILIZED WITH FILTER FABRIC AND 4" OF 3/4" CRUSHED STONE MEETING AOT SPEC 704.02B.

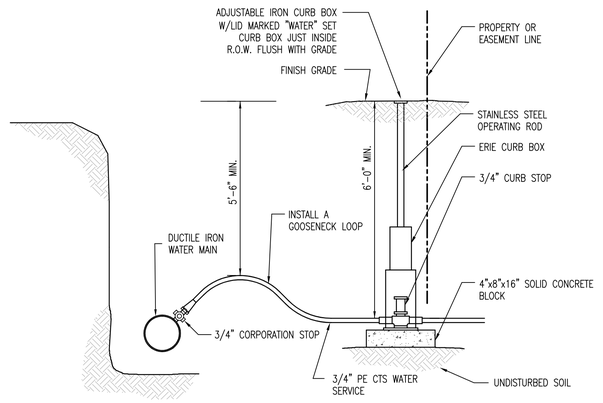
4. GRANULAR BORROW FILL TO MEET AOT SPEC 703.04.

5. WHEN 6' OF COVER CANNOT BE MAINTAINED INSTALL 2" OF RIGID INSULATION, FOR EVERY 1' OF COVER THAT CANNOT BE MAINTAINED, OVER THE PIPE EXTENDING A MINIMUM OF 2' BEYOND THE OUTER EDGES OF THE PIPE.

WATER TRENCH DETAIL

2 / C2.0

N.T.S.



WATER SERVICE CONNECTION DETAIL

3 / C2.0

N.T.S.

NOTES:

1. THE CONTRACTOR SHALL INSTALL THE WATER SERVICE AS INDICATED ON THE CONTRACT PLANS OR AS DIRECTED BY ENGINEER. EACH SERVICE SHALL CONSIST OF A CORPORATION, CURB STOP, HDPE TUBING AND A CURB BOX WITH SERVICE ROD. CORPORATION SHALL BE ATTACHED TO THE WATER MAIN BY MEANS OF A DIRECT TAP.

2. CORPORATIONS SHALL BE WATERWORKS BRASS (OR APPROVED EQUAL) AND MANUFACTURED IN ACCORDANCE WITH AWWA C800. CORPORATIONS SHALL HAVE MUELLER THREADS AT THE INLET AND A COMPRESSION TYPE FITTING AT THE OUTLET. BOTH THE INLET AND OUTLET SHALL BE OF THE SAME SIZE. CORPORATIONS SHALL BE DIRECTLY TAPPED INTO DUCTILE IRON PIPE. IN NO OTHER INSTANCE, EXCEPT WHEN A TAPPING SLEEVE AND VALVE IS USED, SHALL A TAP BE MADE WITH OUT A CORPORATION. CORPORATIONS SHALL BE MUELLER OR APPROVED EQUAL.

3. CURB STOPS SHALL BE INVERTED KEY TYPE MANUFACTURED BY WATERWORKS BRASS IN ACCORDANCE WITH AWWA C800.0 THE CURB STOP SHALL OPEN LEFT AND HAVE A POSITIVE STOP. NO CURB STOP SHALL HAVE THE ABILITY TO DRAIN THE SERVICE LINE. BOTH THE INLET AND OUTLET OF THE CURB STOP SHALL HAVE COMPRESSION TYPE FITTINGS. THE TEE HEAD OF THE CURB STOP SHALL HAVE PROVISIONS FOR THE CONNECTION OF A SERVICE ROD. CURB STOPS SHALL BE MUELLER 15200 OR APPROVED EQUAL.

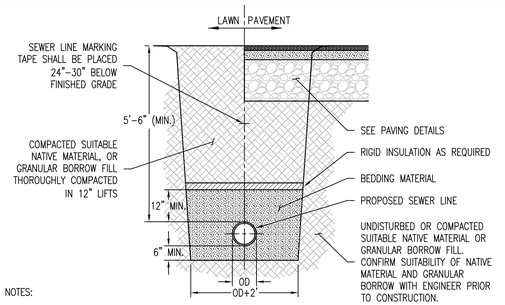
4. SERVICE LINE SHALL BE PE CTS 250 PSI NFS TUBING. THE NAME OF THE TRADEMARK OF THE MANUFACTURER AND TYPE SHALL BE STAMPED AT REGULAR INTERVALS ALONG THE PIPE.

5. CURB BOXES SHALL BE OF THE SLIDING ADJUSTABLE TYPE CAPABLE OF ADJUSTING FROM FIVE (5) TO SIX (6) FEET. THE BASE OF THE BOX SHALL BE ARCH TYPE SO AS TO PREVENT THE BOX FROM RESTING DIRECTLY ON THE CURB STOP. THE ADJUSTABLE UPPER SECTION SHALL BE SUITABLE FOR USE WITH THE ASSOCIATED ROD.

6. THE CONTRACTOR SHALL MAKE ALL NECESSARY TAPS INTO THE WATER MAIN AND WILL INSTALL FOR EACH BUILDING AN APPROVED BRASS CORPORATION STOP. THE CONTRACTOR SHALL ALSO CONNECT THE SERVICE PIPE TO THE FLANGED JOINT, WHICH SHALL BE CONNECTED TO THE BRASS CURB STOP WITH INLET AND OUTLET FOR THE APPROPRIATE SERVICE PIPE. SUCH CURB STOP SHALL BE LOCATED NOT LESS THAN FIVE FEET SIX INCHES (5'–6") BELOW THE GROUND SURFACE AND SHALL BE ACCESSIBLE FROM THE SURFACE THROUGH AN APPROVED VALVE BOX.

7. THE CONTRACTOR SHALL MAKE ALL CONNECTIONS IN ACCORDANCE WITH THE LOCAL PUBLIC WORKS DEPARTMENT STANDARDS. THIS SHALL INCLUDE PREPARING THE PIPE FOR METER INSTALLATION BY THE WATER DEPARTMENT.

8. ALL BRASS UNIONS AND ADAPTERS SHALL BE CAMBRIDGE BRASS NO-LEAD BRASS OR RED HEAD MANUFACTURING BRASS OR WATER DEPARTMENT APPROVED EQUAL.



NOTES:

1. SEWER LINES AND FITTINGS TO MEET AOT SPEC 710.06 AND BE INSTALLED AND TESTED IN ACCORDANCE WITH AOT SPEC 628.

2. BEDDING MATERIAL SHALL BE 3/4" CRUSHED STONE MEETING AOT SPEC 704.02B. BEDDING MATERIAL SHALL NOT BE PLACED ON FROZEN SUBGRADE.

3. IN TRENCHES WITH UNSTABLE MATERIALS, THE TRENCH BOTTOM SHALL BE STABILIZED WITH FILTER FABRIC AND 4" OF 3/4" CRUSHED STONE MEETING AOT SPEC 704.02B.

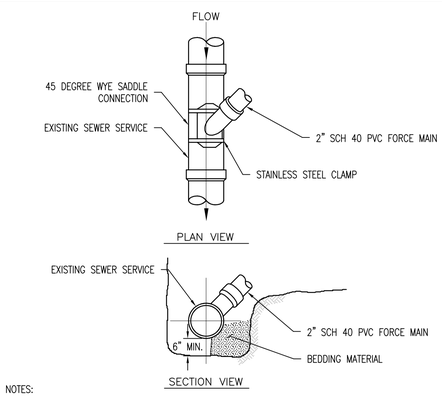
4. GRANULAR BORROW FILL TO MEET AOT SPEC 703.04.

5. WHEN 6' OF COVER CANNOT BE MAINTAINED INSTALL 2" OF RIGID INSULATION, FOR EVERY 1' OF COVER THAT CANNOT BE MAINTAINED, OVER THE PIPE EXTENDING A MINIMUM OF 2' BEYOND THE OUTER EDGES OF THE PIPE.

SEWER TRENCH DETAIL

4 / C2.0

N.T.S.



NOTES:

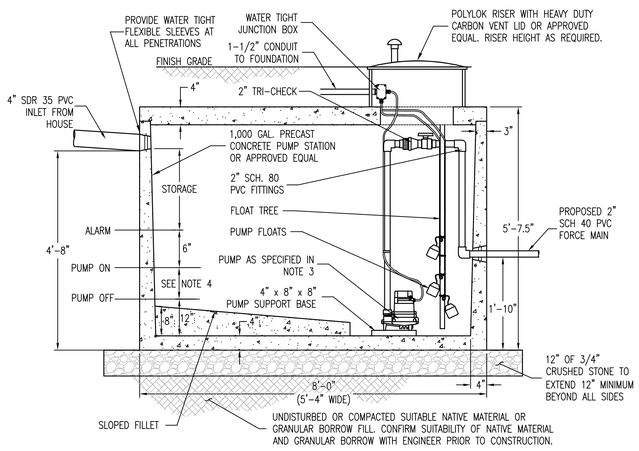
1. SEWER LINES AND FITTINGS TO MEET AOT SPEC 710.06 AND BE INSTALLED AND TESTED IN ACCORDANCE WITH AOT SPEC 628.

2. BEDDING MATERIAL SHALL BE 3/4" CRUSHED STONE MEETING AOT SPEC 704.02B. BEDDING MATERIAL SHALL NOT BE PLACED ON FROZEN SUBGRADE.

SEWER SERVICE CONNECTION DETAIL

5 / C2.0

N.T.S.



PUMP STATION DETAIL

6 / C2.0

N.T.S.

NOTES:

1. PUMP STATION TO BE INSTALLED AND TESTED IN ACCORDANCE WITH AOT SPEC 628.

2. 3/4" STONE FOR BEDDING TO MEET AOT SPEC 704.02B.

3. PROVIDE MYERS VR1 (1 Hp) GRINDER PUMP, OR APPROVED EQUIVALENT. THE CONTRACTOR SHALL VERIFY PUMP SELECTION WITH ENGINEER IF FINAL SITE SELECTION IS OTHER THAN SHOWN ON PLANS.

4. SET PUMP FLOATS FOR 105 GALLON DISCHARGE PER PUMP CYCLE (±5").

5. CONCRETE PUMP STATION SHALL BE WATERTIGHT, STRUCTURALLY SOUND, AND CONSTRUCTED OF MATERIALS NOT SUBJECT TO EXTENSIVE CORROSION OR DECAY. PRECAST CONCRETE TANKS SHALL HAVE A MINIMUM WALL THICKNESS OF 3 INCHES AND SHALL BE ADEQUATELY REINFORCED TO FACILITATE HANDLING. WHEN PRECAST SLABS ARE USED AS COVERS, THEY SHALL BE WATERTIGHT, HAVE A THICKNESS OF AT LEAST 3 INCHES AND BE ADEQUATELY REINFORCED.

6. ADEQUATE ACCESS MUST BE PROVIDED TO THE PUMP STATION FOR INSPECTION AND CLEANING. ACCESS SHALL BE PROVIDED BY MEANS OF EITHER A REMOVABLE COVER OR A MANHOLE OF AT LEAST 16 INCHES IN DIAMETER. COVERS SHOULD BE TIGHT FITTING AND DESIGNED TO PREVENT ENTRY BY CHILDREN. FINAL GRADING AROUND THE COVERS SHALL BE SUCH THAT STORMWATER DOESN'T POOL OVER THE COVER AND INFILTRATE INTO THE SYSTEM.

7. EMERGENCY STORAGE –

- REQ. EMERGENCY STORAGE = ONE DAY = 420 GAL.
- PROP. EMERGENCY STORAGE = (56"–4"–12"–5"–6") x 88" x 56" = 83 CF = ±618 GAL.

CONTACT THE DESIGNER SHOULD SITE CONDITIONS NOT MEET THE FOLLOWING ENVIRONMENTAL PROTECTION RULES CITED FROM CHAPTER 1 OF THE WASTEWATER SYSTEM AND POTABLE WATER SUPPLY RULES

FEATURES AND OBJECTS	HORIZONTAL DISTANCE (FEET) SEWER LINES & MANHOLES	WASTEWATER TANKS	IN-GROUND LEACHFIELDS	LEACHFIELDS IN MOUNDS	MOUND FILL
CURTAIN DRAINS DOWNSLOPE	N/A	10	75	75	50
CURTAIN DRAINS UPSLOPE	N/A	10	35	35	35
DRAINAGE SWALES WITH SEEPS DOWNSLOPE	N/A	25	75	75	50
DRAINAGE SWALES WITH SEEPS UPSLOPE	N/A	25	34	35	10
DRAINAGE SWALES WITHOUT SEEPS	N/A	N/A	25	25	10
FOUNDATION OR PERIMETER DRAIN DOWNSLOPE	N/A	10	75	75	50
FOUNDATION OR PERIMETER DRAIN UPSLOPE	N/A	10	20	20	10
FOUNDATION DOWNSLOPE	N/A	10	20	35	35
FOUNDATION UPSLOPE	N/A	10	20	20	20
POTABLE WATER SOURCE IN BEDROCK	50	(a)	(a)	(a)	(a)
POTABLE WATER SOURCE IN UNCONFINED SURFICIAL AQUIFER	75	(a)	(a)	(a)	(a)
PROPERTY LINES	10	10	25	25	(c)
ROADWAYS, DRIVEWAYS & PARKING LOTS	N/A	5	10	10	(c)
SLOPES EXCEEDING 30%	N/A	10	25	25	25
SURFACE WATER AT NORMAL HIGH WATER ELEVATION	10	25	50	50	50
STORMWATER PRACTICES	10	25	50	50	50
TREES	10	10	10	10	0
WATER MAINS	(b)	50	50	50	(c)
WATER SERVICE PRESSURE LINES	(b)	25	25	25	(c)
WATER SERVICE SUCTION LINES	(b)	50	100	100	(c)
NON-POTABLE WATER SOURCE	10	50	100	100	(c)
WATER STORAGE TANKS	50	50	50	50	25

FOOTNOTES (GENERAL CRITERIA REGARDING ISOLATION DISTANCES)

(a) SEPARATION BETWEEN POTABLE WATER SUPPLIES AND LEACHFIELDS SHALL BE DETERMINED BY TABLE 9-6 OF CHAPTER 1 (WASTEWATER SYSTEM AND POTABLE WATER SUPPLY RULES) OF THE STATE OF VERMONT ENVIRONMENTAL PROTECTION RULES.

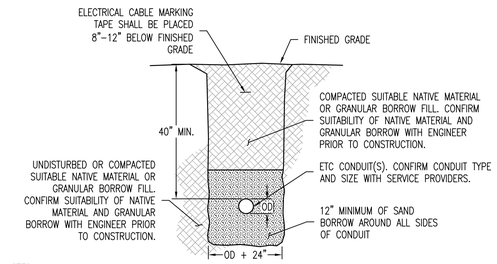
(b) SEPARATION BETWEEN WATER MAINS/LINES AND SEWER MAINS/LINES SHALL BE DETERMINED IN ACCORDANCE WITH SECTION 1-1007 OF CHAPTER 1 (WASTEWATER SYSTEM AND POTABLE WATER SUPPLY RULES) OF THE STATE OF VERMONT ENVIRONMENTAL PROTECTION RULES.

(c) FOR MOUND WASTEWATER DISPOSAL SYSTEMS, THE LIMIT OF MOUND FILL MUST BE 25 FEET FROM ANY DOWNSLOPE FEATURE OR OBJECT AND 10 FEET FROM ANY SIDE OR UPSLOPE FEATURE OR OBJECT.

WASTEWATER ISOLATION REQUIREMENTS

7 / C2.0

N.T.S.



NOTES:

1. ALL MATERIALS AND INSTALLATION PROCEDURES FOR SLEEVES FOR ELECTRICAL, TELEPHONE AND COMMUNICATION SERVICES SHALL MEET AOT SPEC 625.

2. SAND BORROW TO MEET AOT SPEC 703.03.

3. GRANULAR BORROW FILL TO MEET AOT SPEC 703.04.

4. COMPACTION OF MATERIALS TO MEET AOT SPEC 301.06.

5. REFER TO ELECTRICAL PLAN FOR CONDUIT TYPE AND SCHEDULE AND CONFIRM CONDUIT REQUIREMENTS WITH LOCAL SERVICE PROVIDERS.

6. CONDUIT SHALL BE ENCASED IN 4" OF CLASS B CONCRETE FOR PORTIONS INSTALLED UNDER THE ROADWAY OR WITHIN 10' OF WATER, SEWER, GAS AND/OR DRAINAGE CROSSINGS.

ELECTRICAL CONDUIT TRENCH DETAIL

8 / C2.0

N.T.S.

CATAMOUNT
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PO Box 66067 | Burlington VT | 05406
802-598-8081 | www.ccevt.com

OWNER:
Allen & Lynne Knowles Family Trust III, Blair Knowles and Matt Parisi
112 E. Main St.
Richmond, VT 05477

PROJECT:
Proposed Single Family House
112 E. Main St.
Richmond, VT 05477

SHEET TITLE:
Proposed Site Details Plan

LOCATION MAP 1" = ±2,000'

- ☐ PRELIMINARY
- ☒ FOR PERMITTING
- ☐ NOT FOR CONSTRUCTION
- ☐ FOR CONSTRUCTION

PROJECT NO.: 23037
DATE: SEPTEMBER 28, 2023
SCALE: AS SHOWN

REV. NO.	DESCRIPTION	DATE
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

SHEET NUMBER:
C2.0

LEGEND

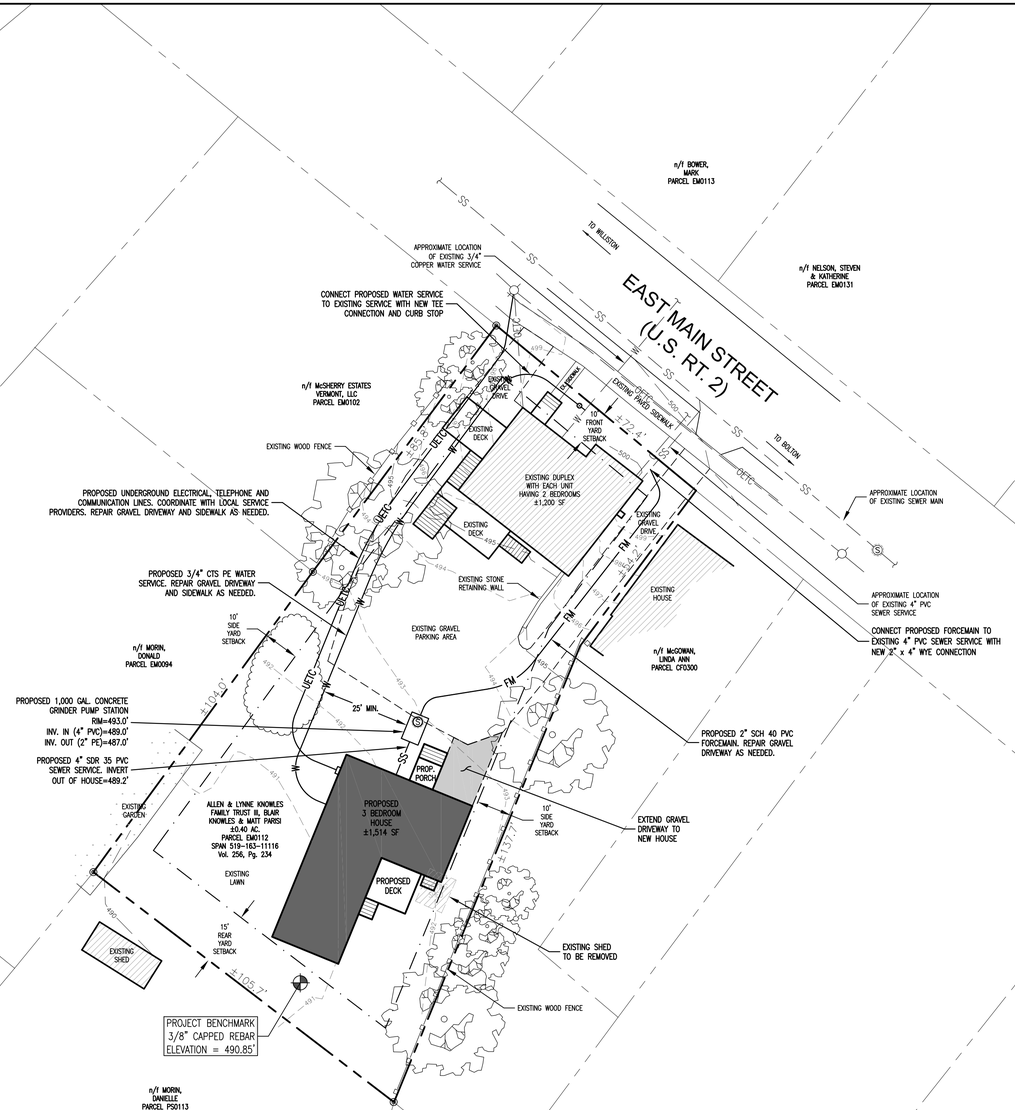
- 985 — EXISTING CONTOUR
- 985 — PROPOSED CONTOUR
- APPROXIMATE PROPERTY LINE
- APPROXIMATE SETBACK LINE
- APPROXIMATE EASEMENT LINE
- SS — APPROXIMATE GRAVITY SEWER LINE
- FM — APPROXIMATE SEWER FORCE MAIN
- ST — APPROXIMATE STORM DRAINAGE LINE
- W — APPROXIMATE WATER LINE
- OETC — APPROXIMATE OVERHEAD ELEC./TEL./COM. LINE
- UETC — APPROXIMATE UNDERGROUND ELEC./TEL./COM. LINE
- G — APPROXIMATE GAS LINE
- WOODEN FENCE
- DRAINAGE SWALE/DITCH
- APPROXIMATE 100 YEAR FLOODPLAIN
- APPROXIMATE EDGE OF WOODS
- DECIDUOUS TREE
- CONIFEROUS TREE
- SHRUB/PLANTING
- SEWER MANHOLE
- DRAINAGE MANHOLE
- DRAINAGE CATCH BASIN
- HYDRANT
- WATER VALVE
- DRILLED WELL
- POWER POLE
- GUY WIRE
- LIGHT POLE
- SIGN POST
- TP — TEST PIT
- PT — PERCOLATION TEST
- IRON PIPE/ROD FOUND/SET
- CONCRETE MONUMENT FOUND/SET
- PROJECT BENCHMARK

VCGS_GRID

GRAPHIC SCALE

20 0 10 20 40 80

(IN FEET)
1 inch = 20 ft.



GENERAL NOTES

1) UTILITIES SHOWN DO NOT PURPORT TO CONSTITUTE OR REPRESENT ALL UTILITIES LOCATED UPON OR ADJACENT TO THE SITE SHOWN. EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL CONTACT DIGSAFE (888-344-7233) PRIOR TO CONSTRUCTION, FIELD VERIFY ALL UTILITY CONFLICTS AND REPORT THEM TO THE DESIGNER. ANY EXISTING UTILITIES NOT INCORPORATED INTO THE FINAL DESIGN SHALL BE REMOVED OR ABANDONED AS INDICATED ON THE PLANS OR AS DIRECTED BY THE ENGINEER.

2) THE CONTRACTOR SHALL CONTACT THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK AND SHALL COORDINATE ALL REQUIRED INSPECTIONS.

3) THE CONTRACTOR IS RESPONSIBLE FOR SAFE CONSTRUCTION OPERATIONS AND SHALL CONFORM TO ALL APPLICABLE REGULATIONS FOR SITE SAFETY.

4) THE CONTRACTOR SHALL NOTIFY THE DESIGNER OF ANY SITE CONDITIONS NOT REPRESENTED ON THE PLANS THAT INFLUENCE THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.

6) THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK NECESSARY FOR COMPLETE AND OPERABLE FACILITIES AND UTILITIES.

7) COORDINATES SHOWN ARE BASED UPON AN ASSUMED DATUM. ORIENTATION IS BASED UPON THE SURVEY PLAT REFERENCED IN NOTE 8 BELOW.

8) PROPERTY LINE INFORMATION BASED UPON THE EXISTING TAX MAP INFORMATION, AS WELL AS A RECENT BOUNDARY LINE ADJUSTMENT PLAT BETWEEN THE 112 EAST MAIN ST. AND 113 PLEASANT ST. PROPERTIES ENTITLED "PLAT SHOWING A BOUNDARY LINE ADJUSTMENT SURVEY BETWEEN LANDS OF DONALD & BONNIE MORIN AND LANDS OF DONALD G. & BONNIE P. MORIN – 113 PLEASANT STREET, RICHMOND, CHITTENDEN COUNTY, VERMONT", DATED APRIL 23, 2019, PREPARED BY LAROSE SURVEYS, P.C. AND RECORDED IN THE TOWN OF RICHMOND LAND RECORDS. MONUMENTATION FOUND WAS CONSISTENT WITH THE RECORDED PLAT. THE PROPERTY LINES, EASEMENTS, AND OTHER REAL PROPERTY DESCRIPTIONS PROVIDED IN THIS PERMIT APPLICATION ARE FOR PERMITTING PURPOSES ONLY. THEY DO NOT DEFINE LEGAL RIGHTS OR MEET LEGAL REQUIREMENTS FOR A LAND SURVEY AS DESCRIBED IN 26 V.S.A. & 2502(4), AND SHALL NOT BE USED IN LIEU OF A SURVEY AS THE BASIS OF ANY LAND TRANSFER OR ESTABLISHMENT OF ANY PROPERTY RIGHTS. THIS IS NOT A BOUNDARY SURVEY AND IS NOT INTENDED TO BE USED AS ONE.

ZONING REQUIREMENTS

ZONING DISTRICT – VILLAGE RESIDENTIAL/COMMERCIAL (V R/C)
OVERLAY DISTRICTS – NONE

DIMENSIONAL REQUIREMENTS –

	REQUIRED	EXISTING	PROPOSED
LOT SIZE (SF) –	10,000	±17,425	±17,425
MIN. LOT FRONTAGE (FT.) –	75	±72.4[1]	±72.4[1]
MAX. LOT COVERAGE (%) –	60	±32.5	±47.5
MAX. BUILDING HEIGHT (FT.) –	35	<35	<35
FRONT YARD SETBACK (FT.) –	10	±7.7[1]	±7.7[1]
SIDE YARD SETBACK (FT.) –	10	±13.5	±11.0
REAR YARD SETBACK (FT.) –	15	±146.4	±16.0

NOTES:

1. REPRESENTS EXISTING, NON-CONFORMING DIMENSION THIS APPLICATION SEEKS TO RETAIN.

DESIGN FLOWS

WATER SUPPLY –

EXISTING WATER DEMAND = 2 UNITS @ 280 GPD/UNIT (MUNICIPAL CONNECTION) =	560 GPD
PROPOSED WATER DEMAND = 1 UNIT @ 360 GPD/UNIT (MUNICIPAL CONNECTION) =	360 GPD
TOTAL PROPOSED WATER DEMAND =	920 GPD

WASTEWATER FLOW –

EXISTING SEWER FLOW = 2 UNITS @ 210 GPD/UNIT (MUNICIPAL CONNECTION) =	420 GPD
PROPOSED SEWER FLOW = 1 UNIT @ 210 GPD/UNIT (MUNICIPAL CONNECTION) =	210 GPD
TOTAL PROPOSED SEWER FLOW =	630 GPD

PARKING REQUIREMENTS

REQUIRED – 1.5 SPACES/UNIT @ 2 UNITS = 3 SPACES
1 SPACE/HOUSE = 1 SPACE

PROPOSED –
3 ALONG BACK OF EXISTING DUPLEX = 3 SPACES
1 IN FRONT OF NEW HOUSE = 1 SPACE
TOTAL PROPOSED PARKING SPACES = 4 SPACES

CATAMOUNT
consulting eningeers, plic
PO Box 66067 | Burlington VT | 05406
802-598-8081 | www.ccevt.com

OWNER:
Allen & Lynne Knowles Family Trust III, Blair Knowles and Matt Parisi
112 E. Main St.
Richmond, VT 05477

PROJECT:
Proposed Single Family House
112 E. Main St.
Richmond, VT 05477

SHEET TITLE:
Proposed Conditions Site Plan

LOCATION MAP 1" = ±2,000'

- ☐ PRELIMINARY
- ☒ FOR PERMITTING
- ☐ NOT FOR CONSTRUCTION
- ☐ FOR CONSTRUCTION

PROJECT NO.: 23037
DATE: SEPTEMBER 28, 2023
SCALE: 1" = 20'

REV. NO.	DESCRIPTION	DATE
1		
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SHEET NUMBER:
C1.0