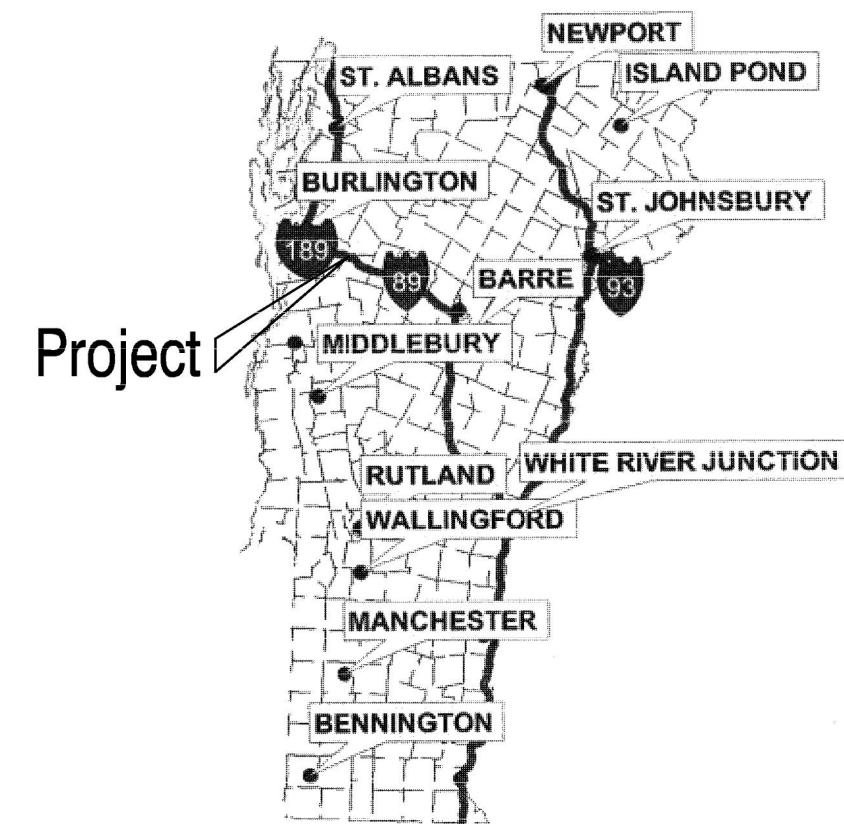


Milton



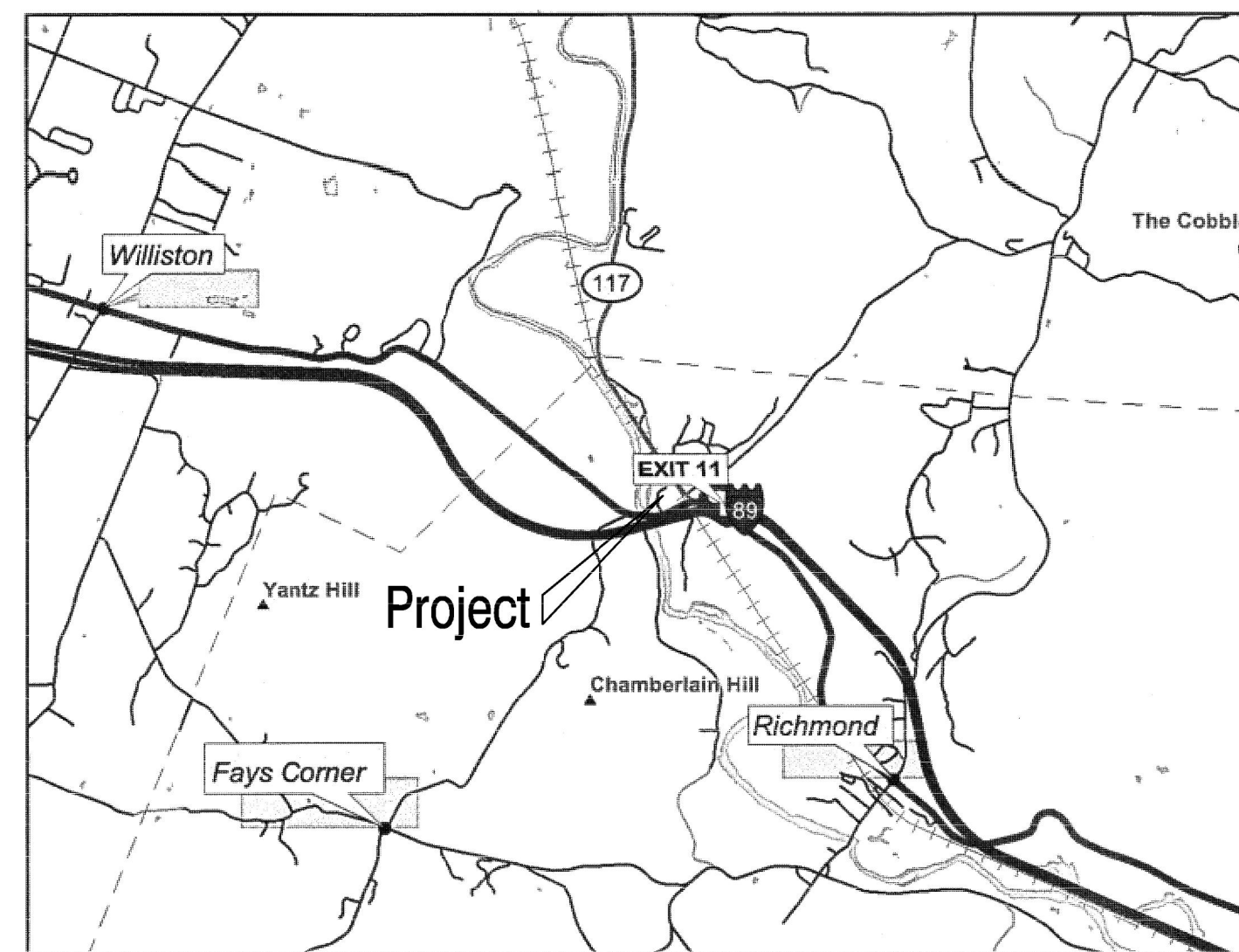
SERVICE BAY BUILDING ADDITION at the Milton CAT Facility

One Cat Lane & 1844 West Main Street
Richmond, Vermont
Chittenden County



Vicinity Map

Sheet List Table		
Sheet Title	Sheet Description	Sheet Number
G-001	TITLE SHEET & INDEX	1
G-002	LEGEND & NOTES	2
C-101	EXISTING CONDITIONS AND DEMOLITION PLAN	3
C-102	SITE LAYOUT, GRADING, AND DRAINAGE PLAN	4
C-501	EROSION AND SEDIMENTATION NOTES AND DETAILS	5
AD-101	EXISTING CONDITIONS AND REMOVALS PLAN	6
AE-101	PROPOSED FLOOR PLAN	7
AE-201	BUILDING ELEVATIONS	8



Location Map



47A York St
Portland, ME
04101
207.553.7753

REV	DESCRIPTION	DPL DWN	LDA APP	DATE
A	DRB REVIEW			01/17/23

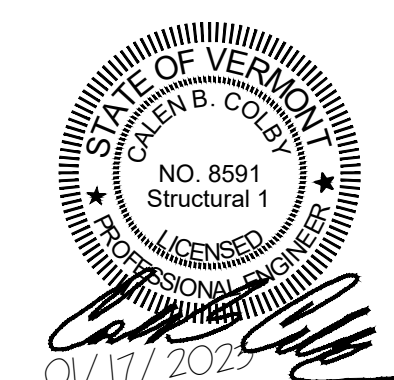
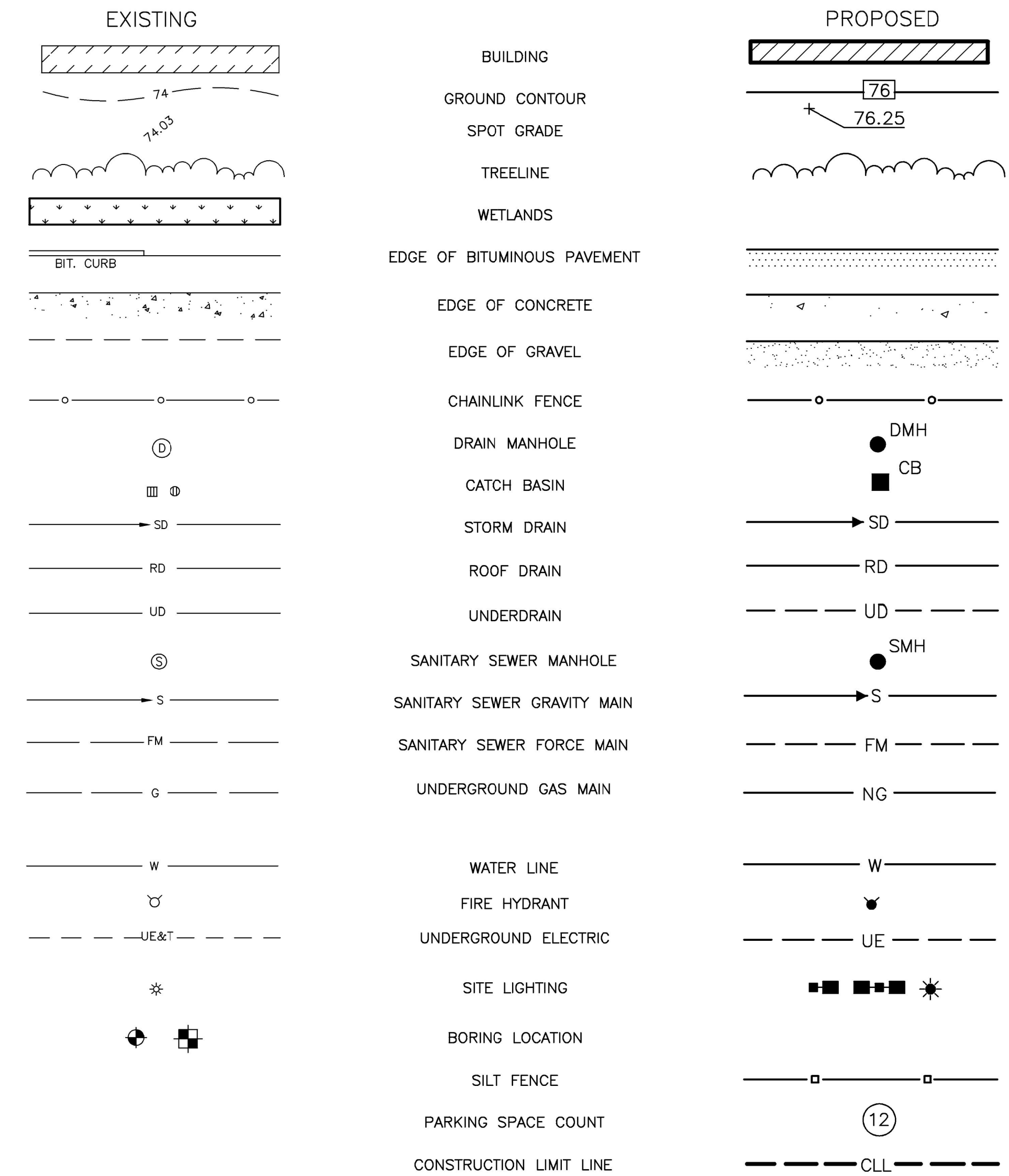
PLEASE NOTE: THIS DOCUMENT MAY NOT ACCURATELY REPRESENT THE FINAL DOCUMENT. ONLY AN ENGINEER, ARCHITECT OR SURVEYOR SIGNED, SEALED AND DATED PAPER COPY, PROVIDED BY THIS OFFICE, MAY BE UTILIZED FOR BIDDING OR CONSTRUCTION PURPOSES.

MILTON REAL PROPERTIES OF MASSACHUSETTS, LLC 100 QUARRY DRIVE, MILFORD, MA 01757	
MILTON CAT SERVICE BAY BUILDING ADDITION ONE CAT LANE & 1844 WEST MAIN ST, RICHMOND, VT	
TITLE SHEET & INDEX	
PROJECT NO. 109.093.001	DRAWING NO. G-001
SHEET 1 OF 8	

GENERAL NOTES:

- PROPERTY LINE BASED ON PLAN ENTITLED "PROPERTY SURVEY, JORDAN MILTON, U.S. RT. 2 & RT. 117, RICHMOND, VERMONT" BY P.E.A., INC., DATED 11-2-1990. AND PLAN ENTITLED "SURVEY PLAT, FOR MILTON REAL PROPERTIES" BY SUMMIT ENGINEERING, INC., DATED 1-27-2010.
- TOPOGRAPHY BASED ON SURVEY BY SUMMIT ENGINEERING, INC, DATED 12-30-2009, AND REFERENCE PLANS BY OEST ASSOC. VERTICAL DATUM BASED ON TEMPORARY BENCH MARK, FINISHED FLOOR MAIN LOBBY ENTRANCE ELEVATION 308.50, ASSUMED.
- THE ENTIRE SITE SHALL BE DEVELOPED AND MAINTAINED AS DEPICTED ON THE PLANS. APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATION TO OR DEVIATION FROM THE APPROVED PLANS.
- ALL POWER LINES SHALL BE UNDERGROUND, OR AS SHOWN ON THE ELECTRICAL PLANS.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH VERMONT STANDARDS & SPECIFICATIONS FOR EROSION PREVENTION & SEDIMENT CONTROL, LATEST EDITION.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING.
- ALL DISTURBED AREAS ON THE SITE, NOT COVERED BY BUILDINGS OR PAVEMENT, SHALL BE STABILIZED WITH LOAM, SEED AND MULCH, OR OTHER METHODS AS REQUIRED BY THE SITE SPECIFIC EROSION AND SEDIMENT CONTROL PLAN.
- EXISTING UTILITIES SHOWN ON THE PROJECT DRAWINGS ARE LOCATED APPROXIMATELY AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. UTILITY LOCATIONS ARE BASED ON PHYSICAL LOCATIONS, MAPS FROM RESPECTIVE UTILITY COMPANIES AND PLAN OF REFERENCE. THESE UTILITY LOCATIONS ARE PROVIDED FOR REFERENCE TO THE CONTRACTOR. NO GUARANTEE IS MADE THAT UTILITIES WILL BE ENCOUNTERED WHERE SHOWN OR THAT ALL UNDERGROUND UTILITIES ARE SHOWN. THE CONTRACTOR SHALL FIELD VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ALL DISTURBED UTILITIES DURING CONSTRUCTION AT NO EXPENSE TO THE OWNER.
- THE CONTRACTOR SHALL ARRANGE FOR ANY TEMPORARY UTILITY CONNECTIONS THAT MAY BE REQUIRED DURING CONSTRUCTION.
- EXISTING UTILITIES TO REMAIN IN OPERATION SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR. ANY DAMAGE TO EXISTING UTILITIES TO REMAIN SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR CALLING DIG-SAFE (1-800-344-7233) 72 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION. CONTRACTOR IS ALSO RESPONSIBLE FOR CONTACTING OTHER NON DIG-SAFE MEMBER UTILITIES FOR UTILITY LOCATES 72 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION. COST FOR LOCATING UTILITIES WITHIN THE RIGHT OF WAYS OR IN PRIVATE PROPERTIES IS THE CONTRACTOR'S RESPONSIBILITY AND WILL NOT BE PAID FOR SEPARATELY.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE O.S.H.A. REGULATIONS AND SAFETY REQUIREMENTS.
- CONTRACTOR SHALL PROVIDE QUALIFIED PERSONNEL ON SITE CAPABLE OF PROVIDING HORIZONTAL AND VERTICAL CONTROL.
- EXISTING PROPERTY AND RIGHT OF WAY PINS AND MONUMENTATION SHALL NOT BE DISTURBED BY CONSTRUCTION. IF DISTURBED, THEY SHALL BE RESET TO THEIR ORIGINAL LOCATIONS AT THE CONTRACTOR'S EXPENSE BY A REGISTERED VERMONT PROFESSIONAL LAND SURVEYOR UNLESS OTHERWISE DIRECTED BY THE OWNER.
- EXCESS SURPLUS EXCAVATED MATERIAL SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH ALL EXISTING LOCAL, STATE AND FEDERAL GOVERNMENT REGULATIONS AT CONTRACTORS EXPENSE.

LEGEND



REV	DESCRIPTION	DPL	LDA	DATE
A	DRB REVIEW	DWN	APP	01/17/23

MILTON REAL PROPERTIES OF MASSACHUSETTS, LLC
 100 QUARRY DRIVE, MILFORD, MA 01757
 MILTON CAT SERVICE BAY BUILDING ADDITION
 ONE CAT LANE & 1844 WEST MAIN ST, RICHMOND, VT

LEGEND & NOTES

47A York St
 Portland, ME
 04101
 207.553.7753

PLEASE NOTE: THIS DOCUMENT MAY NOT ACCURATELY REPRESENT THE FINAL DOCUMENT. ONLY AN ENGINEER, ARCHITECT OR SURVEYOR SIGNED, SEALED AND DATED PAPER COPY, PROVIDED BY THIS OFFICE, MAY BE UTILIZED FOR BIDDING OR CONSTRUCTION PURPOSES.

SIZE: ANSI D
 DATE: 01/17/23
 DES BY: HLS
 DWN BY: DPL
 CKD BY: LDA

PROJECT NO. 109.093.001
 SHEET 2 OF 8
 DRAWING NO. G-002

NOTES:

1. COMMERCIAL DISTRICT – ZONE C.

2. DIMENSIONAL REQUIREMENTS:

	REQUIRED	PROVIDED
MIN. FRONT YARD SETBACK	20 FT	277 FT
MIN. SIDE YARD SETBACK	10 FT	72 FT
MIN. REAR YARD SETBACK	15 FT	306 FT
MAX. BUILDING HEIGHT	35 FT	33 FT

MAX. LOT COVERAGE
(50% TOTAL GROUND AREA) 193,840 SF 192,070 SF

LOT FRONTAGE: EXCEEDS MIN. 75 FT

3. PARKING REQUIREMENTS:

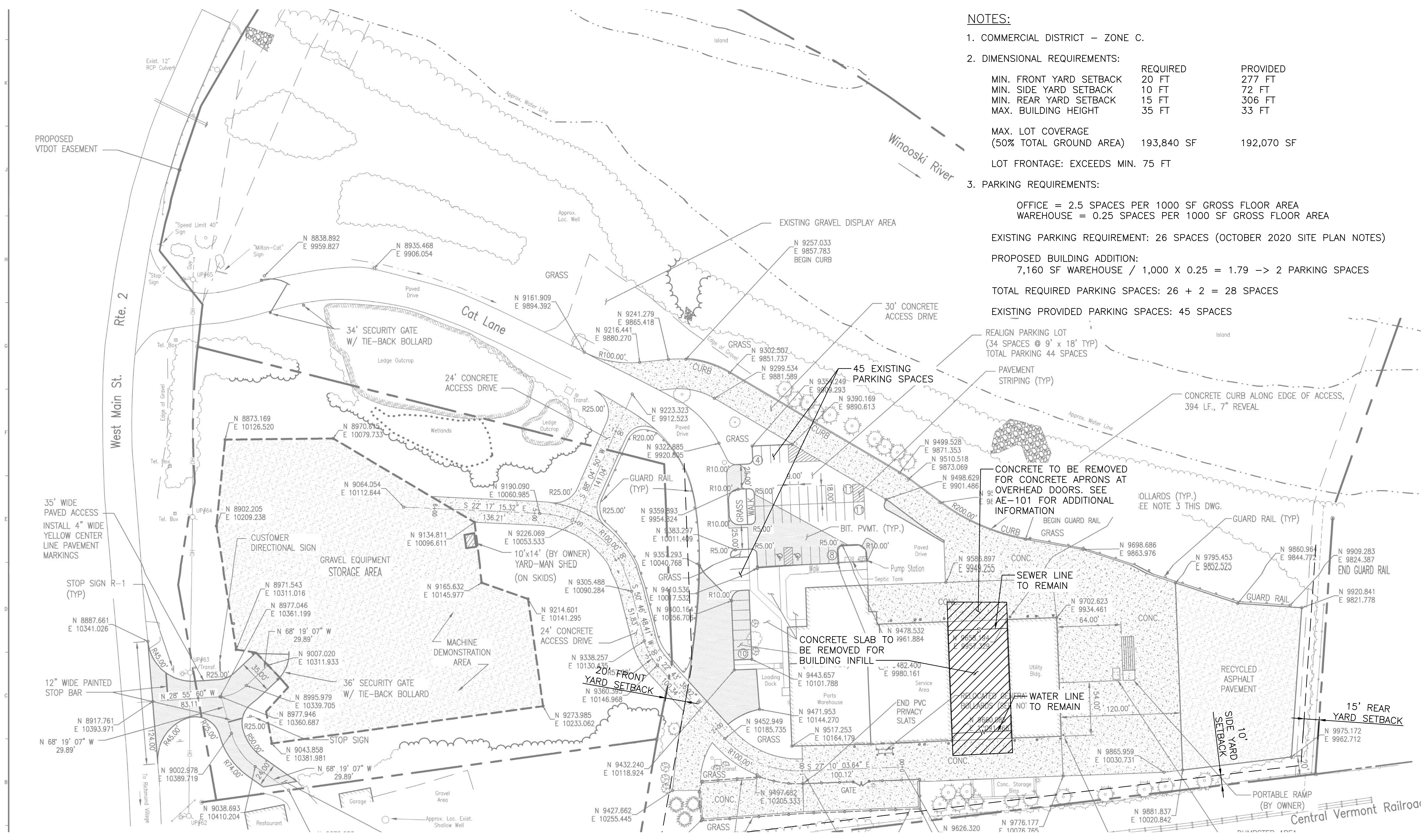
OFFICE = 2.5 SPACES PER 1000 SF GROSS FLOOR AREA
WAREHOUSE = 0.25 SPACES PER 1000 SF GROSS FLOOR AREA

EXISTING PARKING REQUIREMENT: 26 SPACES (OCTOBER 2020 SITE PLAN NOTES)

PROPOSED BUILDING ADDITION:
7,160 SF WAREHOUSE / 1,000 X 0.25 = 1.79 -> 2 PARKING SPACES


TOTAL REQUIRED PARKING SPACES: 26 + 2 = 28 SPACES

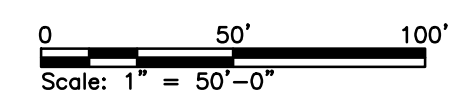
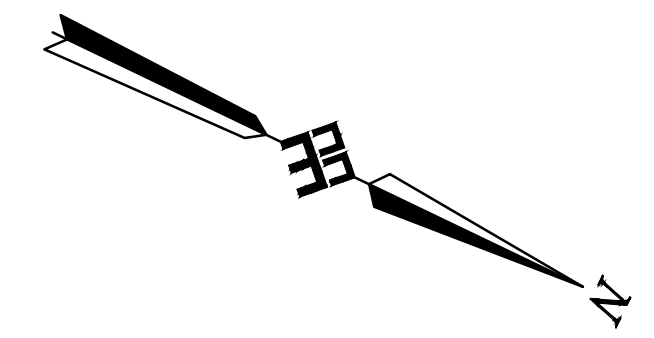
EXISTING PROVIDED PARKING SPACES: 45 SPACES

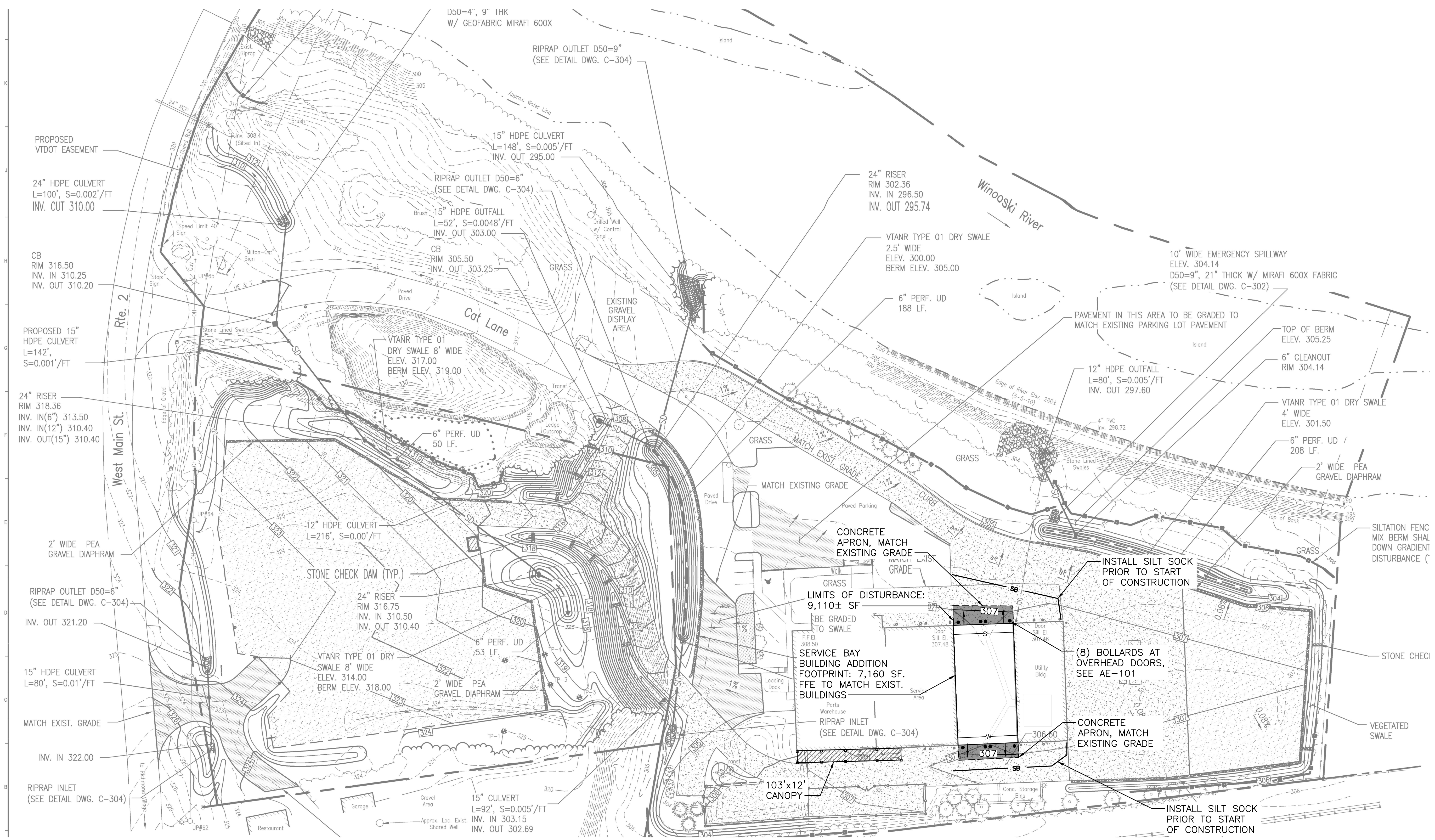


EXISTING CONDITIONS AND DEMOLITION PLAN

SCALE: 1" = 50'-0"

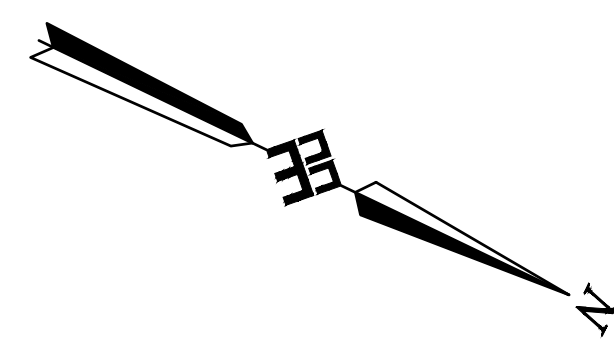
					MILTON REAL PROPERTIES OF MASSACHUSETTS, LLC 100 QUARRY DRIVE, MILFORD, MA 01757	
					MILTON CAT SERVICE BAY BUILDING ADDITION ONE CAT LANE & 1844 WEST MAIN ST, RICHMOND, VT	
				EXISTING CONDITIONS AND DEMOLITION PLAN		
B DRB REVIEW A DRB REVIEW	HLS LDA 02/02/23 DPL LDA 01/17/23	DWN APP DATE	PROJECT NO. 109.093.001	DRAWING NO. SHEET 3 OF 8	C-101	
PLEASE NOTE: THIS DOCUMENT MAY NOT ACCURATELY REPRESENT THE FINAL DOCUMENT. ONLY AN ENGINEER, ARCHITECT OR SURVEYOR SIGNED, SEALED AND DATED PAPER COPY, PROVIDED BY THIS OFFICE, MAY BE UTILIZED FOR BIDDING OR CONSTRUCTION PURPOSES.		SIZE: ANSI D DATE: 01/17/23 DES BY: HLS DWN BY: DPL CKD BY: LDA				
47A York St Portland, ME 04101 207.553.7753						



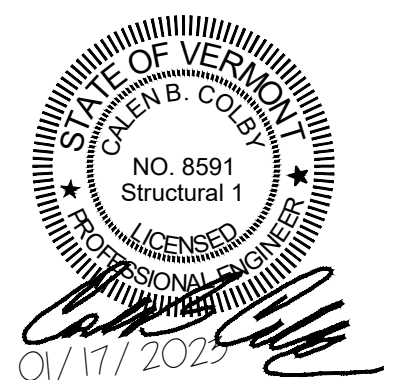


SITE LAYOUT, GRADING, AND DRAINAGE PLAN

SCALE: 1" = 50'-0"



0 50' 100'
Scale: 1" = 50'-0"



47A York St
Portland, ME
04101
207.553.7753

REV	DESCRIPTION	DWN	APP	DATE
A	DRB REVIEW	DPL	LDA	01/17/23

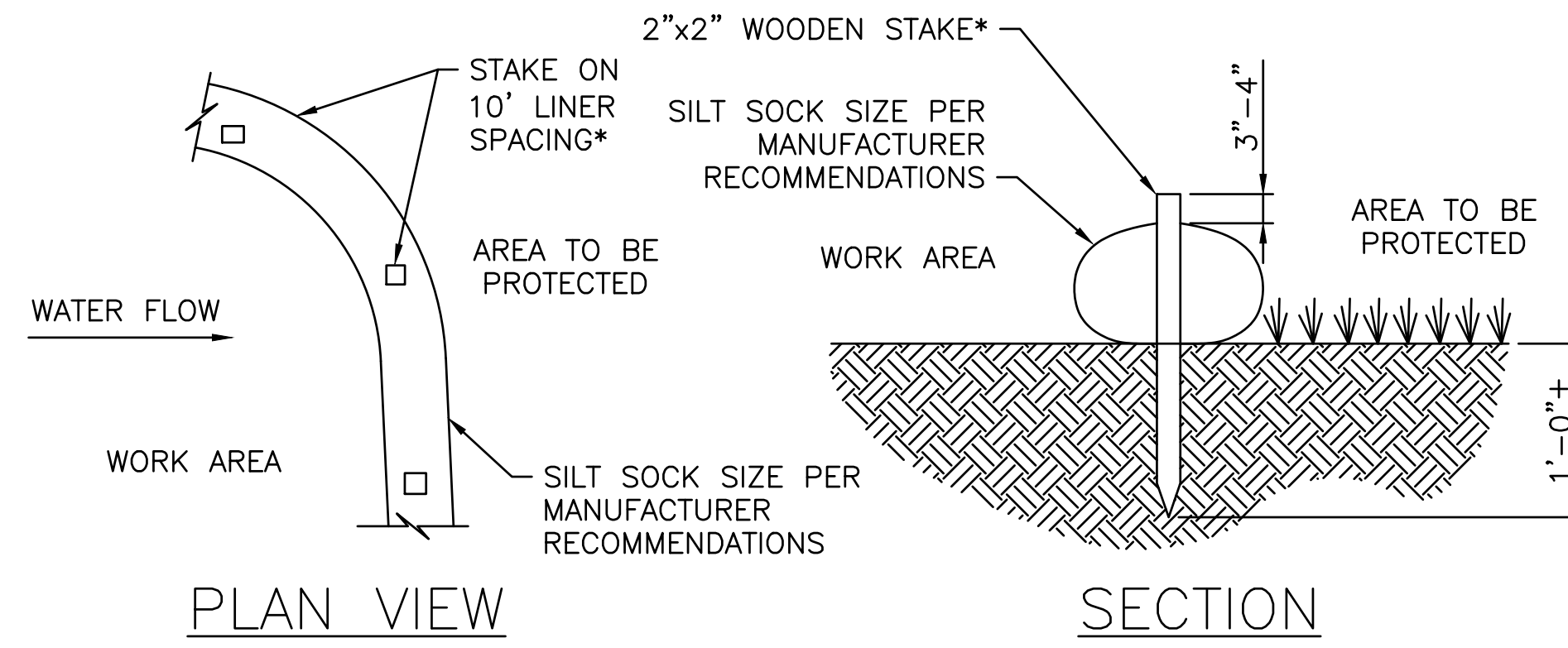
PLEASE NOTE: THIS DOCUMENT MAY NOT ACCURATELY REPRESENT THE FINAL DOCUMENT. ONLY AN ENGINEER, ARCHITECT OR SURVEYOR SIGNED, SEALED AND DATED PAPER COPY, PROVIDED BY THIS OFFICE, MAY BE UTILIZED FOR BIDDING OR CONSTRUCTION PURPOSES.

SIZE: ANSI D
DATE: 01/17/23
DES BY: HLS
DWN BY: DPL
CKD BY: LDA

MILTON REAL PROPERTIES OF MASSACHUSETTS, LLC 100 QUARRY DRIVE, MILFORD, MA 01757	
MILTON CAT SERVICE BAY BUILDING ADDITION ONE CAT LANE & 1844 WEST MAIN ST, RICHMOND, VT	
SITE LAYOUT, GRADING, AND DRAINAGE PLAN	
PROJECT NO. 109.093.001	DRAWING NO. C-102
SHEET 4 OF 8	

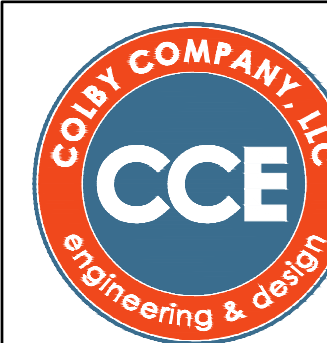
EROSION CONTROL NOTES

1. EROSION AND SEDIMENTATION CONTROL FOR THIS PROJECT SHALL BE BASED UPON SOUND CONSERVATION PRACTICES, AND ADHERES TO THE STANDARDS DETAILED IN THE THE VERMONT STANDARDS & SPECIFICATIONS FOR EROSION PREVENTION & SEDIMENT CONTROL (LATEST EDITION). THE CONTRACTOR SHALL MAKE THEMSELVES FAMILIAR WITH THE AFOREMENTIONED PUBLICATION AND COMPLY WITH THE PRACTICES PRESENTED THEREIN.
2. A PERSON WHO CONDUCTS, OR CAUSES TO BE CONDUCTED, AN ACTIVITY THAT INVOLVES FILLING, DISPLACING OR EXPOSING SOIL OR OTHER EARTHEN MATERIALS SHALL TAKE MEASURES TO PREVENT UNREASONABLE EROSION OF SOIL OR SEDIMENT BEYOND THE PROJECT SITE OR INTO A PROTECTED NATURAL RESOURCE. EROSION CONTROL MEASURES MUST BE IN PLACE BEFORE THE ACTIVITY BEGINS. MEASURES MUST REMAIN IN PLACE AND FUNCTIONAL UNTIL THE SITE IS PERMANENTLY STABILIZED. ADEQUATE AND TIMELY TEMPORARY AND PERMANENT STABILIZATION MEASURES MUST BE TAKEN.
3. ALL SILTATION SOCKS SHALL BE INSPECTED BY A QUALIFIED INSPECTOR ON A WEEKLY BASIS OR FOLLOWING ANY EVENT PRODUCING RUNOFF FROM THE CONSTRUCTION SITE (RAINFALL OR SNOWMELT) IN ACCORDANCE WITH VERMONT STANDARDS. ALL DAMAGED EROSION CONTROL DEVICES SHALL BE REPAIRED AND/OR REPLACED IMMEDIATELY, TRAPPED SEDIMENT SHALL BE REMOVED BEFORE IT HAS ACCUMULATED TO ONE-HALF OF THE INSTALLED SILTATION SOCK BARRIER HEIGHT. DEVICES NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION SHALL ALSO BE REPAIRED AND/OR REPLACED AS NECESSARY.



* OMIT WOODEN STAKES WHEN PLACING SEDIMENT BARRIER ON ASPHALT OR CONCRETE PAVEMENT

SEDIMENTATION BARRIER - SILT SOCK DETAIL



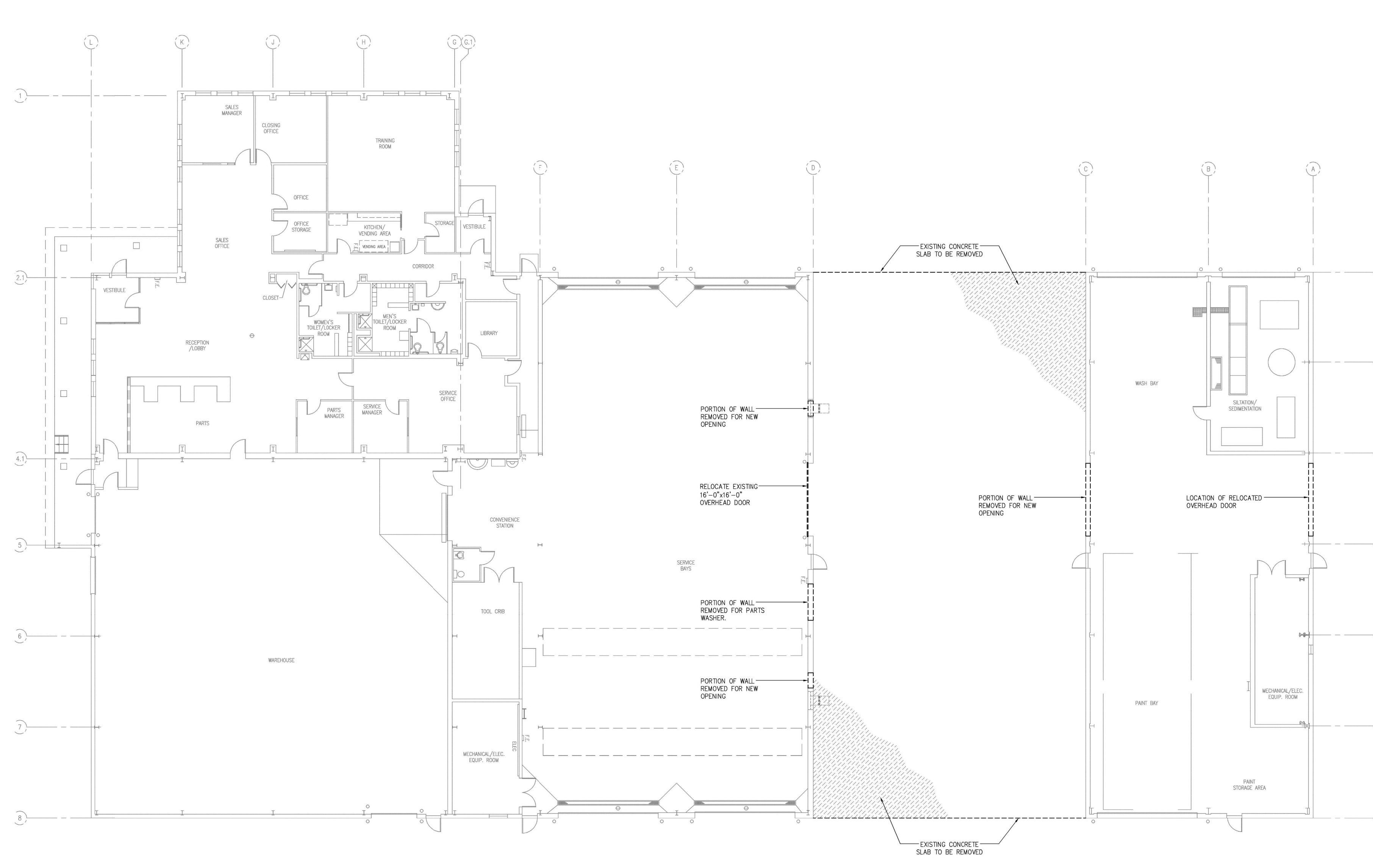
47A York St
Portland, ME
04101
207.553.7753

REV	DESCRIPTION	DPL	LDA	DATE
A	DRB REVIEW	DPL	LDA	01/17/23

PLEASE NOTE: THIS DOCUMENT MAY NOT ACCURATELY REPRESENT THE FINAL DOCUMENT. ONLY AN ENGINEER, ARCHITECT OR SURVEYOR SIGNED, SEALED AND DATED PAPER COPY, PROVIDED BY THIS OFFICE, MAY BE UTILIZED FOR BIDDING OR CONSTRUCTION PURPOSES.


SIZE: ANSI D
DATE: 01/17/23
DES BY: HLS
DWN BY: DPL
CKD BY: LDA

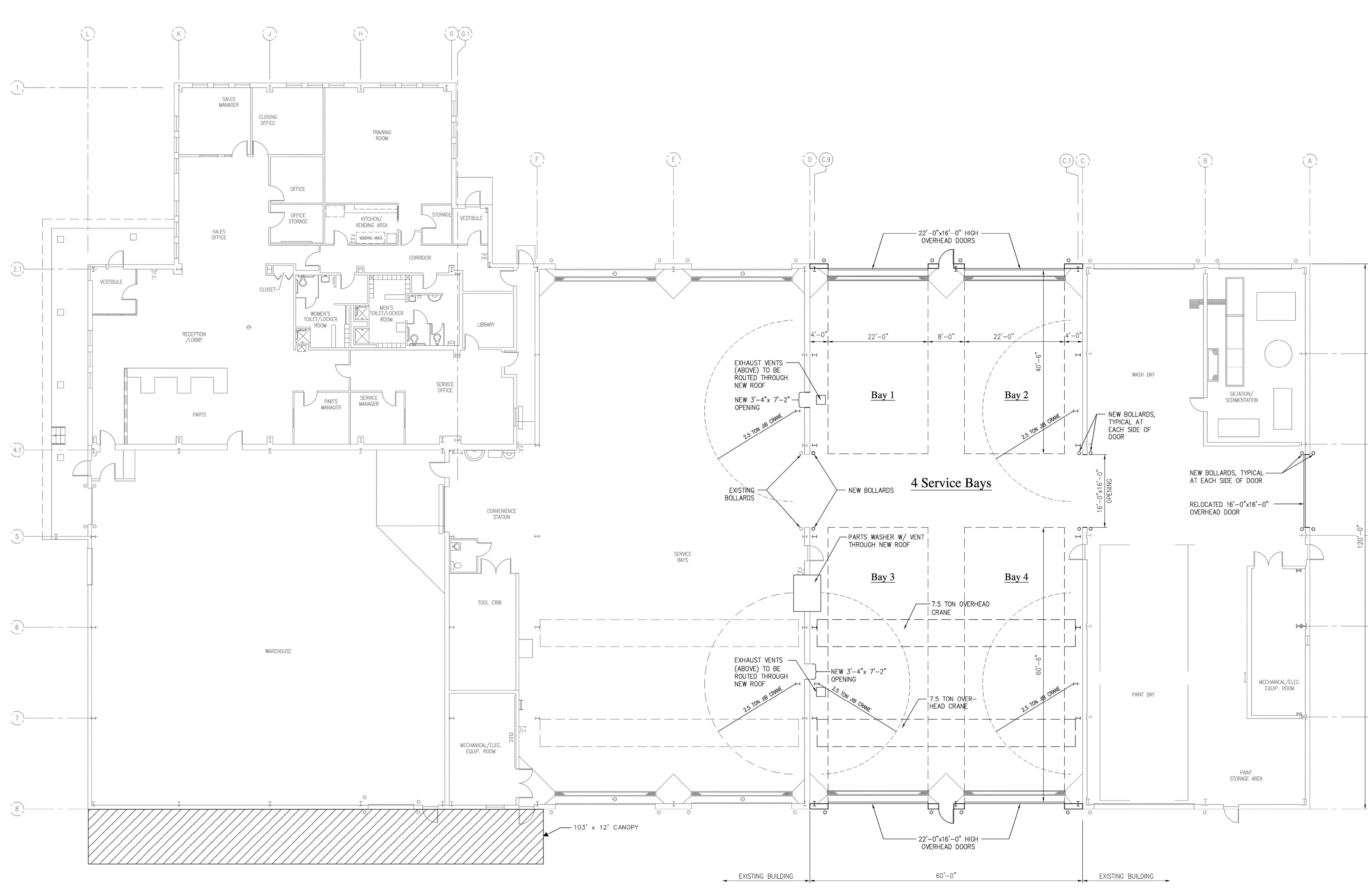
MILTON REAL PROPERTIES OF MASSACHUSETTS, LLC 100 QUARRY DRIVE, MILFORD, MA 01757	
MILTON CAT SERVICE BAY BUILDING ADDITION ONE CAT LANE & 1844 WEST MAIN ST, RICHMOND, VT	
EROSION AND SEDIMENTATION NOTES AND DETAILS	
PROJECT NO. 109.093.001	DRAWING NO. C-501
SHEET 5 OF 8	



EXISTING CONDITIONS AND REMOVALS PLAN
 SCALE: 1/16" = 1'-0"


0 8' 16' 32'
 Scale: 1/16" = 1'-0"

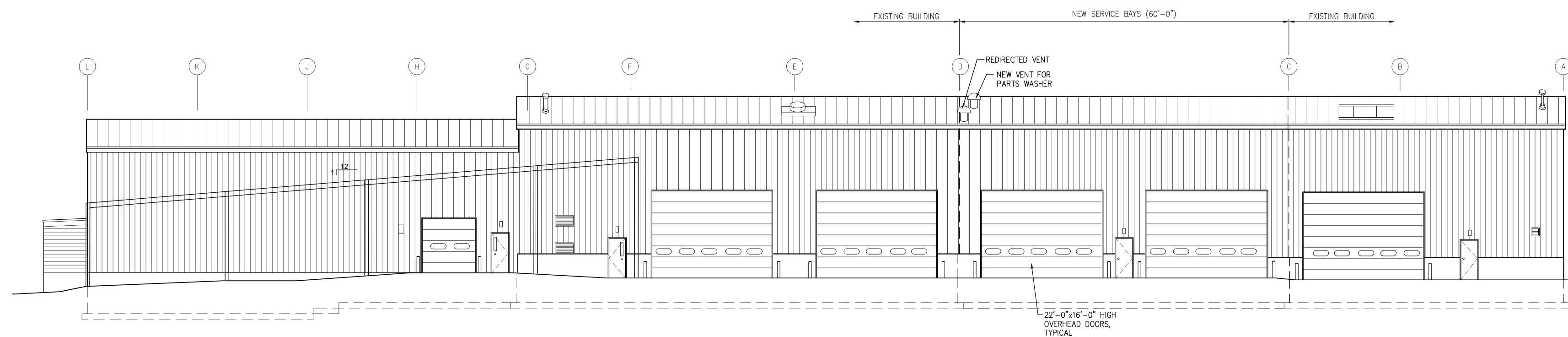
					MILTON REAL PROPERTIES OF MASSACHUSETTS, LLC		
					100 QUARRY DRIVE, MILFORD, MA 01757		
					MILTON CAT SERVICE BAY BUILDING ADDITION		
					ONE CAT LANE & 1844 WEST MAIN ST, RICHMOND, VT		
				EXISTING CONDITIONS AND REMOVALS PLAN			
47A York St Portland, ME 04101 207.553.7753		PLEASE NOTE: THIS DOCUMENT MAY NOT ACCURATELY REPRESENT THE FINAL DOCUMENT. ONLY AN ENGINEER, ARCHITECT OR SURVEYOR SIGNED, SEALED AND DATED PAPER COPY, PROVIDED BY THIS OFFICE, MAY BE UTILIZED FOR BIDDING OR CONSTRUCTION PURPOSES.		SIZE: ANSI D DATE: 01/17/23 DES BY: HLS DWN BY: DPL CKD BY: LDA		PROJECT NO. 109.093.001 SHEET 6 OF 8	DRAWING NO. AD-101



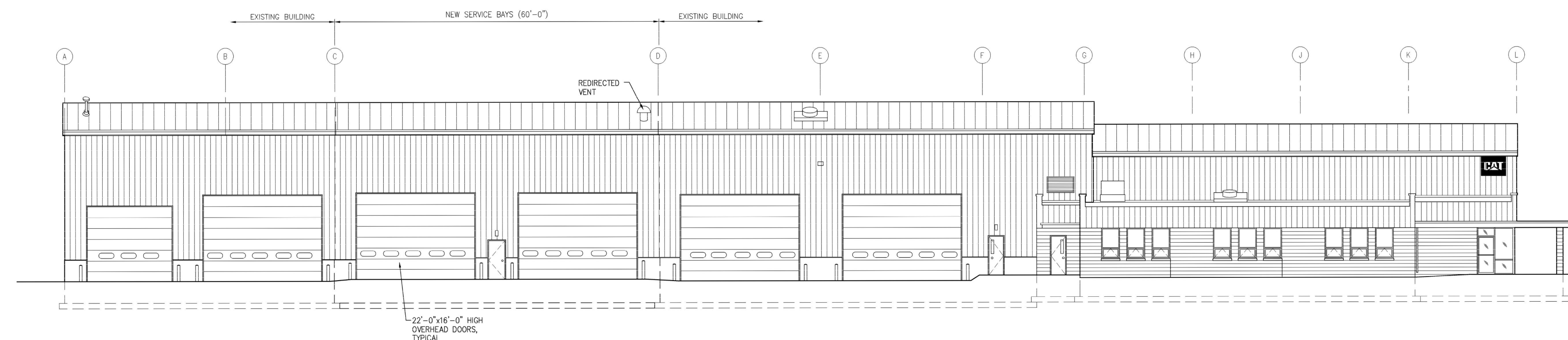
PROPOSED FLOOR PLAN
SCALE: 1/16" = 1'-0"

0 8' 16' 32'
Scale: 1/16" = 1'-0"

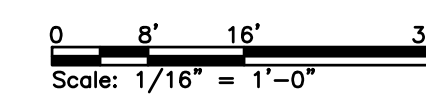
					MILTON REAL PROPERTIES OF MASSACHUSETTS, LLC																							
					100 QUARRY DRIVE, MILFORD, MA 01757																							
					MILTON CAT SERVICE BAY BUILDING ADDITION																							
					ONE CAT LANE & 1844 WEST MAIN ST, RICHMOND, VT																							
				PROPOSED FLOOR PLAN																								
<table border="1"> <tr> <th>REV</th> <th>DESCRIPTION</th> <th>DPL</th> <th>LDA</th> <th>DATE</th> </tr> <tr> <td>A</td> <td>DRB REVIEW</td> <td>DPL</td> <td>LDA</td> <td>01/17/23</td> </tr> </table>		REV	DESCRIPTION	DPL	LDA	DATE	A	DRB REVIEW	DPL	LDA	01/17/23	<table border="1"> <tr> <td>SIZE:</td> <td>ANSI D</td> </tr> <tr> <td>DATE:</td> <td>01/17/23</td> </tr> <tr> <td>DES BY:</td> <td>HLS</td> </tr> <tr> <td>DWN BY:</td> <td>DPL</td> </tr> <tr> <td>CKD BY:</td> <td>LDA</td> </tr> </table>		SIZE:	ANSI D	DATE:	01/17/23	DES BY:	HLS	DWN BY:	DPL	CKD BY:	LDA	<table border="1"> <tr> <td>PROJECT NO.</td> <td>109.093.001</td> </tr> <tr> <td>DRAWING NO.</td> <td>AE-101</td> </tr> </table>	PROJECT NO.	109.093.001	DRAWING NO.	AE-101
REV	DESCRIPTION	DPL	LDA	DATE																								
A	DRB REVIEW	DPL	LDA	01/17/23																								
SIZE:	ANSI D																											
DATE:	01/17/23																											
DES BY:	HLS																											
DWN BY:	DPL																											
CKD BY:	LDA																											
PROJECT NO.	109.093.001																											
DRAWING NO.	AE-101																											
47A York St Portland, ME 04101 207.553.7753		PLEASE NOTE: THIS DOCUMENT MAY NOT ACCURATELY REPRESENT THE FINAL DOCUMENT. ONLY AN ENGINEER, ARCHITECT OR SURVEYOR SIGNED, SEALED AND DATED PAPER COPY, PROVIDED BY THIS OFFICE, MAY BE UTILIZED FOR BIDDING OR CONSTRUCTION PURPOSES.		SHEET 7 OF 8																								




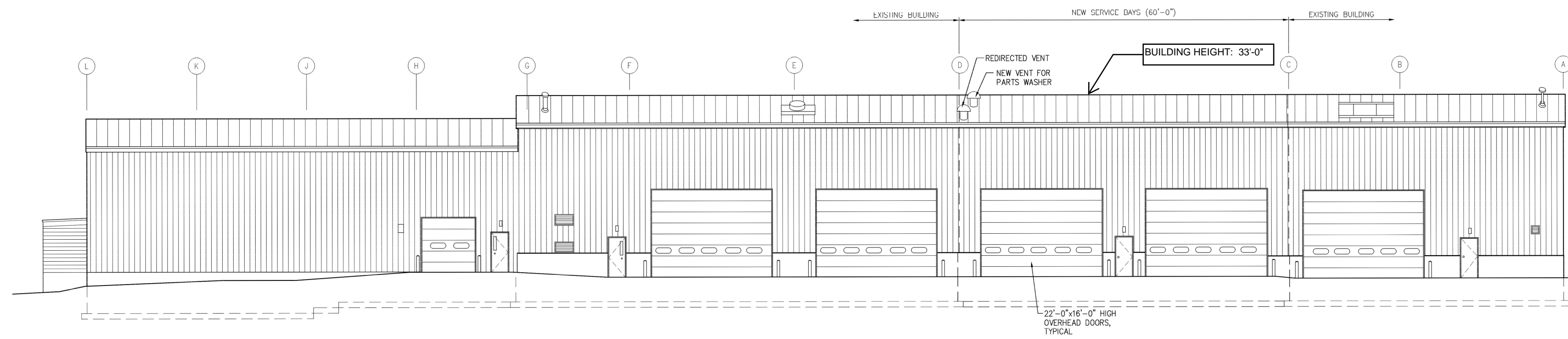
EAST ELEVATION
SCALE: 1/16" = 1'-0"



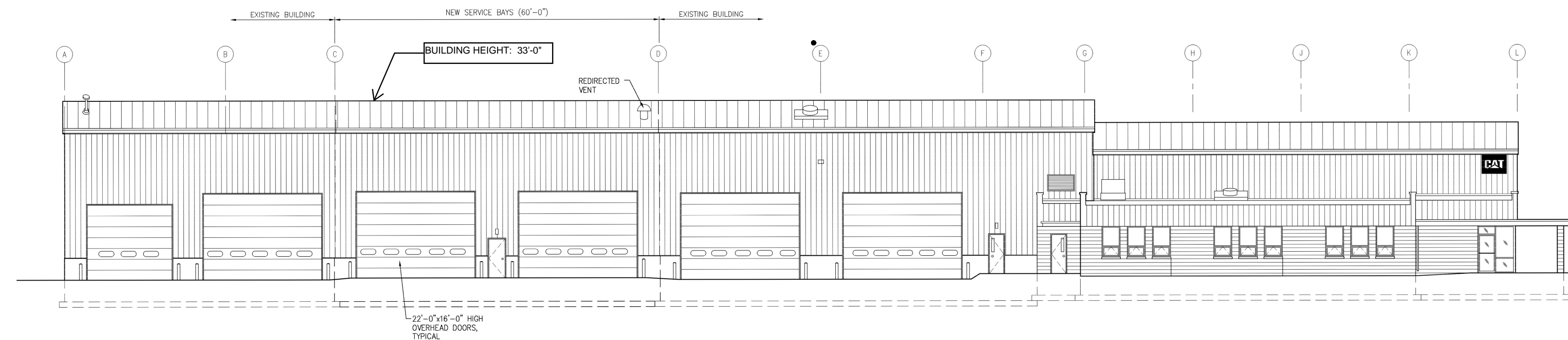
WEST ELEVATION
SCALE: 1/16" = 1'-0"



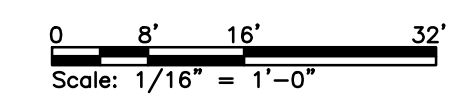
				MILTON REAL PROPERTIES OF MASSACHUSETTS, LLC 100 QUARRY DRIVE, MILFORD, MA 01757																							
				MILTON CAT SERVICE BAY BUILDING ADDITION ONE CAT LANE & 1844 WEST MAIN ST, RICHMOND, VT																							
				BUILDING ELEVATIONS																							
				PROJECT NO. 109.093.001	DRAWING NO. AE-201																						
<table border="1"> <thead> <tr> <th>REV</th> <th>DESCRIPTION</th> <th>DWN</th> <th>APP</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>DRB REVIEW</td> <td>DPL</td> <td>LDA</td> <td>01/17/23</td> </tr> </tbody> </table>		REV	DESCRIPTION	DWN	APP	DATE	A	DRB REVIEW	DPL	LDA	01/17/23	<table border="1"> <tr> <td>SIZE:</td> <td>ANSI D</td> </tr> <tr> <td>DATE:</td> <td>01/17/23</td> </tr> <tr> <td>DES BY:</td> <td>HLS</td> </tr> <tr> <td>DWN BY:</td> <td>DPL</td> </tr> <tr> <td>CKD BY:</td> <td>LDA</td> </tr> </table>		SIZE:	ANSI D	DATE:	01/17/23	DES BY:	HLS	DWN BY:	DPL	CKD BY:	LDA	<table border="1"> <tr> <td>SHEET</td> <td>8 OF 8</td> </tr> </table>		SHEET	8 OF 8
REV	DESCRIPTION	DWN	APP	DATE																							
A	DRB REVIEW	DPL	LDA	01/17/23																							
SIZE:	ANSI D																										
DATE:	01/17/23																										
DES BY:	HLS																										
DWN BY:	DPL																										
CKD BY:	LDA																										
SHEET	8 OF 8																										
47A York St Portland, ME 04101 207.553.7753		PLEASE NOTE: THIS DOCUMENT MAY NOT ACCURATELY REPRESENT THE FINAL DOCUMENT. ONLY AN ENGINEER, ARCHITECT OR SURVEYOR SIGNED, SEALED AND DATED PAPER COPY, PROVIDED BY THIS OFFICE, MAY BE UTILIZED FOR BIDDING OR CONSTRUCTION PURPOSES.																									




EAST ELEVATION
SCALE: 1/16" = 1'-0"

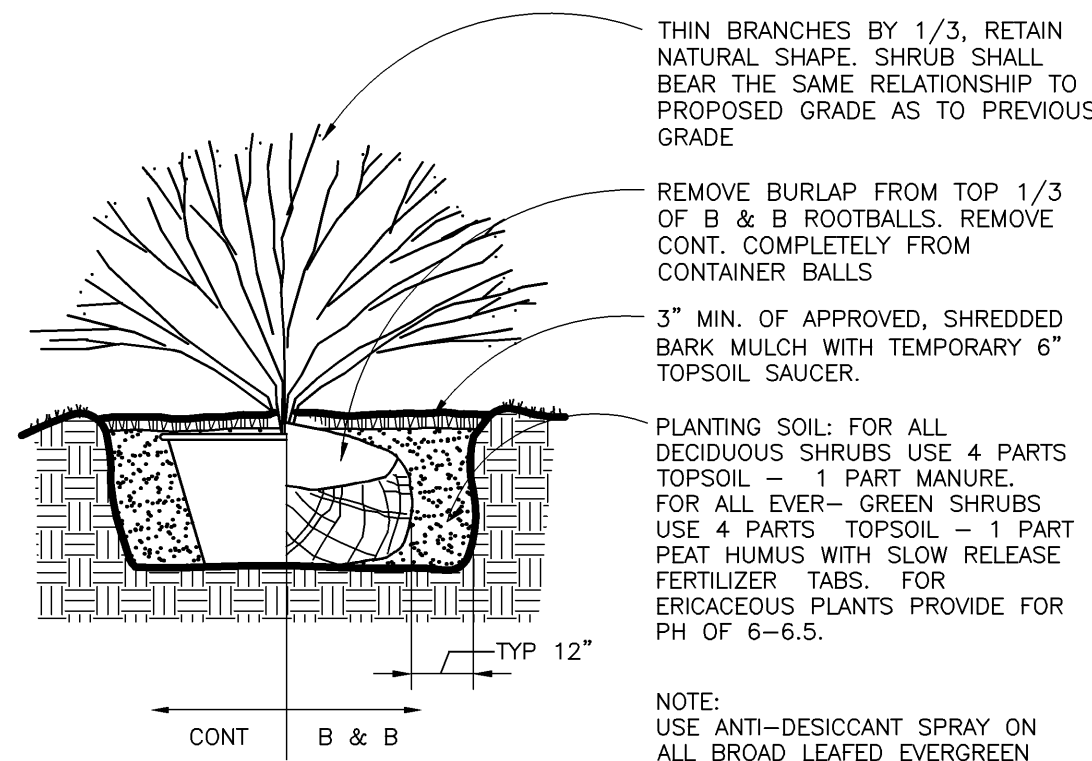


WEST ELEVATION
SCALE: 1/16" = 1'-0"

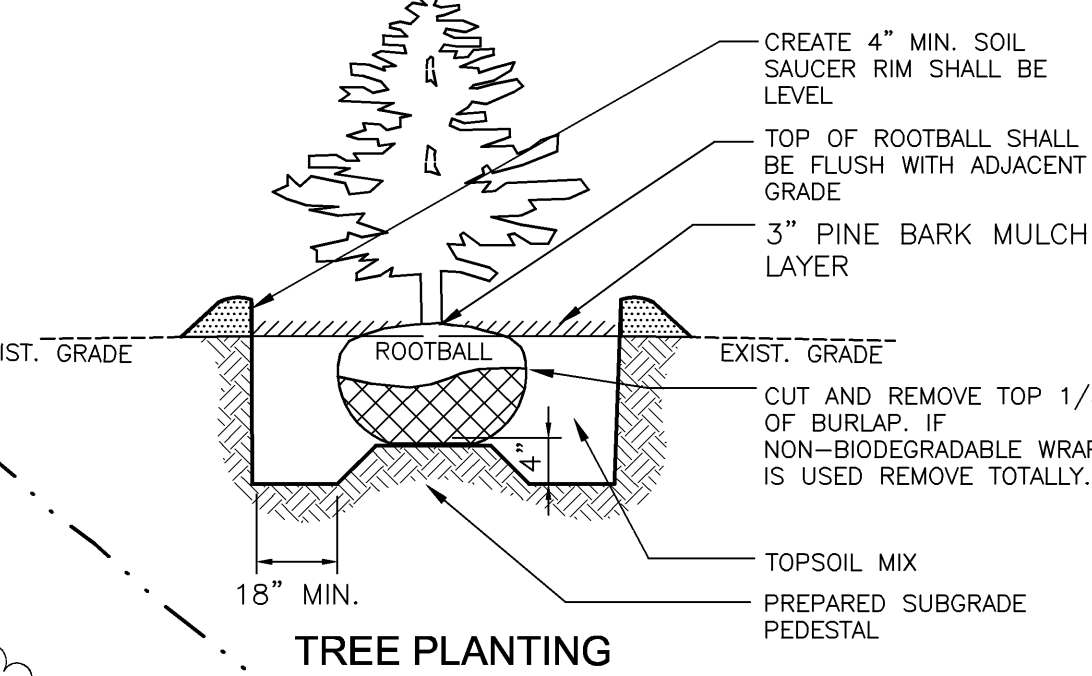


 <p>47A York St Portland, ME 04101 207.553.7753</p>				MILTON REAL PROPERTIES OF MASSACHUSETTS, LLC 100 QUARRY DRIVE, MILFORD, MA 01757																												
				MILTON CAT SERVICE BAY BUILDING ADDITION ONE CAT LANE & 1844 WEST MAIN ST, RICHMOND, VT																												
				BUILDING ELEVATIONS																												
				PROJECT NO. 109.093.001	DRAWING NO. AE-201																											
<table border="1"> <tr> <th>REV</th> <th>DESCRIPTION</th> <th>DWN</th> <th>APP</th> <th>DATE</th> </tr> <tr> <td>A</td> <td>DRB REVIEW</td> <td>GRC</td> <td>LDA</td> <td>02/03/22</td> </tr> <tr> <td>A</td> <td>DRB REVIEW</td> <td>DPL</td> <td>LDA</td> <td>01/17/23</td> </tr> </table>		REV	DESCRIPTION	DWN	APP	DATE	A	DRB REVIEW	GRC	LDA	02/03/22	A	DRB REVIEW	DPL	LDA	01/17/23	<table border="1"> <tr> <td>SIZE:</td> <td>ANSI D</td> </tr> <tr> <td>DATE:</td> <td>01/17/23</td> </tr> <tr> <td>DES BY:</td> <td>HLS</td> </tr> <tr> <td>DWN BY:</td> <td>DPL</td> </tr> <tr> <td>CKD BY:</td> <td>LDA</td> </tr> </table>		SIZE:	ANSI D	DATE:	01/17/23	DES BY:	HLS	DWN BY:	DPL	CKD BY:	LDA	<table border="1"> <tr> <td>SHEET</td> <td>8 OF 8</td> </tr> </table>		SHEET	8 OF 8
REV	DESCRIPTION	DWN	APP	DATE																												
A	DRB REVIEW	GRC	LDA	02/03/22																												
A	DRB REVIEW	DPL	LDA	01/17/23																												
SIZE:	ANSI D																															
DATE:	01/17/23																															
DES BY:	HLS																															
DWN BY:	DPL																															
CKD BY:	LDA																															
SHEET	8 OF 8																															
<p>PLEASE NOTE: THIS DOCUMENT MAY NOT ACCURATELY REPRESENT THE FINAL DOCUMENT. ONLY AN ENGINEER, ARCHITECT OR SURVEYOR SIGNED, SEALED AND DATED PAPER COPY, PROVIDED BY THIS OFFICE, MAY BE UTILIZED FOR BIDDING OR CONSTRUCTION PURPOSES.</p>																																

SYM	NO.	BOTANICAL NAME	COMMON NAME	SIZE	CONT.	SPACING
FN	28	FORSYTHIA 'NORTHERN GOLD'	NORTHERN GOLD FORSYTHIA	3'-4" HT	B&B	10' OC
HI	11	HAMAMELIS X INTERMEDIA 'PALLIDA'	PALLIDA WITCH-HAZEL	3'-4" HT	B&B	10' OC
ICB	1	ILEX X MESERVEAE 'CHINA BOY'	CHINA BOY HOLLY	3-3 1/2' HT	B&B	AS SHOWN
ICG	6	ILEX X MESERVEAE 'CHINA GIRL'	CHINA GIRL HOLLY	4'-5" HT	B&B	10' OC
PAA	13	PICEA ABIES	NORWAY SPRUCE	8'-10" HT	B&B	24' OC
PAB	12	PICEA ABIES	NORWAY SPRUCE	6'-8" HT	B&B	AS SHOWN
VP	6	VIBURNUM PRUNIFOLIUM	BLACKHAW VIBURNUM	5'-6" HT	B&B	10' OC

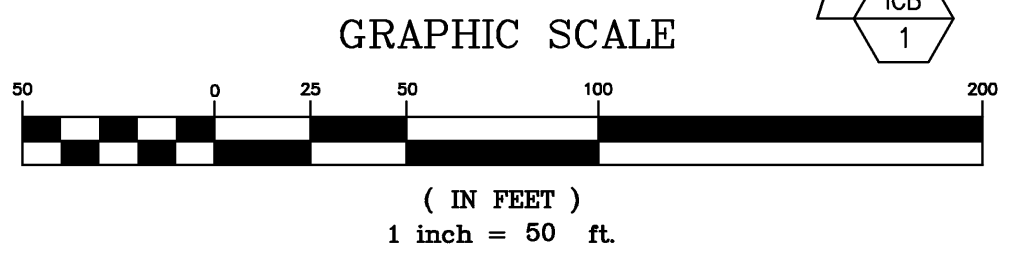
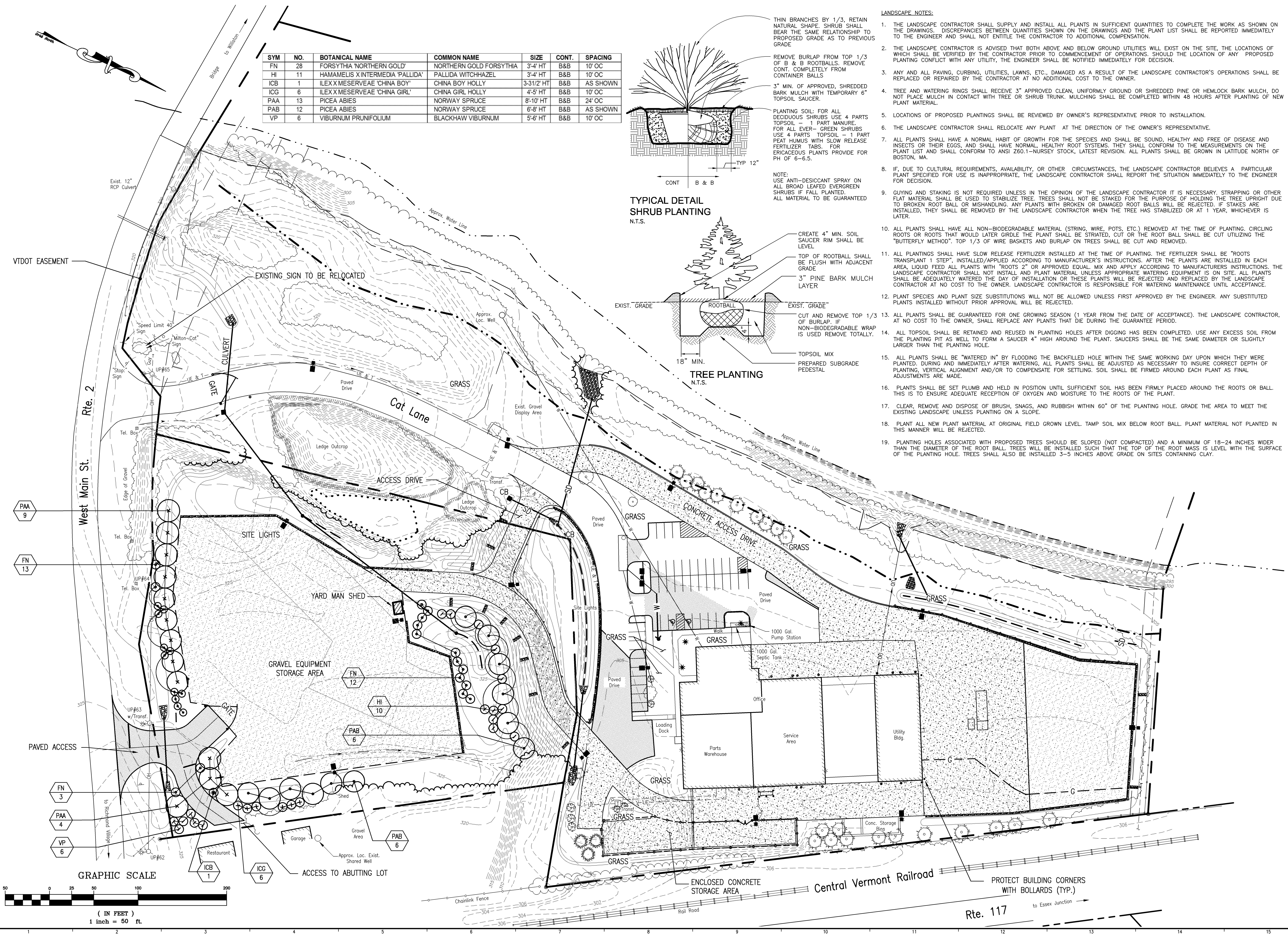


TYPICAL DETAIL SHRUB PLANTING N.T.S.



TYPICAL DETAIL TREE PLANTING N.T.S.

- LANDSCAPE NOTES:**
- THE LANDSCAPE CONTRACTOR SHALL SUPPLY AND INSTALL ALL PLANTS IN SUFFICIENT QUANTITIES TO COMPLETE THE WORK AS SHOWN ON THE DRAWINGS. DISCREPANCIES BETWEEN QUANTITIES SHOWN ON THE DRAWINGS AND THE PLANT LIST SHALL BE REPORTED IMMEDIATELY TO THE ENGINEER AND SHALL NOT ENTITLE THE CONTRACTOR TO ADDITIONAL COMPENSATION.
 - THE LANDSCAPE CONTRACTOR IS ADVISED THAT BOTH ABOVE AND BELOW GROUND UTILITIES WILL EXIST ON THE SITE, THE LOCATIONS OF WHICH SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF OPERATIONS. SHOULD THE LOCATION OF ANY PROPOSED PLANTING CONFLICT WITH ANY UTILITY, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR DECISION.
 - ANY AND ALL PAVING, CURBING, UTILITIES, LAWNS, ETC., DAMAGED AS A RESULT OF THE LANDSCAPE CONTRACTOR'S OPERATIONS SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
 - TREE AND WATERING RINGS SHALL RECEIVE 3" APPROVED CLEAN, UNIFORMLY GROUND OR SHREDDED PINE OR HEMLOCK BARK MULCH, DO NOT PLACE MULCH IN CONTACT WITH TREE OR SHRUB TRUNK. MULCHING SHALL BE COMPLETED WITHIN 48 HOURS AFTER PLANTING OF NEW PLANT MATERIAL.
 - LOCATIONS OF PROPOSED PLANTINGS SHALL BE REVIEWED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
 - THE LANDSCAPE CONTRACTOR SHALL RELOCATE ANY PLANT AT THE DIRECTION OF THE OWNER'S REPRESENTATIVE.
 - ALL PLANTS SHALL HAVE A NORMAL HABIT OF GROWTH FOR THE SPECIES AND SHALL BE SOUND, HEALTHY AND FREE OF DISEASE AND INSECTS OR THEIR EGGS, AND SHALL HAVE NORMAL, HEALTHY ROOT SYSTEMS. THEY SHALL CONFORM TO THE MEASUREMENTS ON THE PLANT LIST AND SHALL CONFORM TO ANSI Z60.1-NURSEY STOCK, LATEST REVISION. ALL PLANTS SHALL BE GROWN IN LATITUDE NORTH OF BOSTON, MA.
 - IF, DUE TO CULTURAL REQUIREMENTS, AVAILABILITY, OR OTHER CIRCUMSTANCES, THE LANDSCAPE CONTRACTOR BELIEVES A PARTICULAR PLANT SPECIFIED FOR USE IS INAPPROPRIATE, THE LANDSCAPE CONTRACTOR SHALL REPORT THE SITUATION IMMEDIATELY TO THE ENGINEER FOR DECISION.
 - CLYING AND STAKING IS NOT REQUIRED UNLESS IN THE OPINION OF THE LANDSCAPE CONTRACTOR IT IS NECESSARY. STRAPPING OR OTHER FLAT MATERIAL SHALL BE USED TO STABILIZE TREE. TREES SHALL NOT BE STAKED FOR THE PURPOSE OF HOLDING THE TREE UPRIGHT DUE TO BROKEN ROOT BALL OR MISHANDLING. ANY PLANTS WITH BROKEN OR DAMAGED ROOT BALLS WILL BE REJECTED. IF STAKES ARE INSTALLED, THEY SHALL BE REMOVED BY THE LANDSCAPE CONTRACTOR WHEN THE TREE HAS STABILIZED OR AT 1 YEAR, WHICHEVER IS LATER.
 - ALL PLANTS SHALL HAVE ALL NON-BIODEGRADABLE MATERIAL (STRING, WIRE, POTS, ETC.) REMOVED AT THE TIME OF PLANTING. CIRCLING ROOTS OR ROOTS THAT WOULD LATER GIRDLING THE PLANT SHALL BE STRIATED, CUT OR THE ROOT BALL SHALL BE CUT UTILIZING THE "BUTTERFLY METHOD". TOP 1/3 OF WIRE BASKETS AND BURLAP ON TREES SHALL BE CUT AND REMOVED.
 - ALL PLANTINGS SHALL HAVE SLOW RELEASE FERTILIZER INSTALLED AT THE TIME OF PLANTING. THE FERTILIZER SHALL BE "ROOTS TRANSPLANT 1 STEP", INSTALLED/APPLIED ACCORDING TO MANUFACTURER'S INSTRUCTIONS. AFTER THE PLANTS ARE INSTALLED IN EACH AREA, LIQUID FEED ALL PLANTS WITH "ROOTS 2" OR APPROVED EQUAL. MIX AND APPLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS. THE LANDSCAPE CONTRACTOR SHALL NOT INSTALL AND PLANT MATERIAL UNLESS APPROPRIATE WATERING EQUIPMENT IS ON SITE. ALL PLANTS SHALL BE ADEQUATELY WATERED THE DAY OF INSTALLATION OR THESE PLANTS WILL BE REJECTED AND REPLACED BY THE LANDSCAPE CONTRACTOR AT NO COST TO THE OWNER. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR WATERING MAINTENANCE UNTIL ACCEPTANCE.
 - PLANT SPECIES AND PLANT SIZE SUBSTITUTIONS WILL NOT BE ALLOWED UNLESS FIRST APPROVED BY THE ENGINEER. ANY SUBSTITUTED PLANTS INSTALLED WITHOUT PRIOR APPROVAL WILL BE REJECTED.
 - ALL PLANTS SHALL BE GUARANTEED FOR ONE GROWING SEASON (1 YEAR FROM THE DATE OF ACCEPTANCE). THE LANDSCAPE CONTRACTOR, AT NO COST TO THE OWNER, SHALL REPLACE ANY PLANTS THAT DIE DURING THE GUARANTEE PERIOD.
 - ALL TOPSOIL SHALL BE RETAINED AND REUSED IN PLANTING HOLES AFTER DIGGING HAS BEEN COMPLETED. USE ANY EXCESS SOIL FROM THE PLANTING PIT AS WELL TO FORM A SAUCER 4" HIGH AROUND THE PLANT. SAUCERS SHALL BE THE SAME DIAMETER OR SLIGHTLY LARGER THAN THE PLANTING HOLE.
 - ALL PLANTS SHALL BE "WATERED IN" BY FLOODING THE BACKFILLED HOLE WITHIN THE SAME WORKING DAY UPON WHICH THEY WERE PLANTED. DURING AND IMMEDIATELY AFTER WATERING, ALL PLANTS SHALL BE ADJUSTED AS NECESSARY TO INSURE CORRECT DEPTH OF PLANTING, VERTICAL ALIGNMENT AND/OR TO COMPENSATE FOR SETTLING. SOIL SHALL BE FIRMED AROUND EACH PLANT AS FINAL ADJUSTMENTS ARE MADE.
 - PLANTS SHALL BE SET PLUMB AND HELD IN POSITION UNTIL SUFFICIENT SOIL HAS BEEN FIRMLY PLACED AROUND THE ROOTS OR BALL. THIS IS TO ENSURE ADEQUATE RECEPTION OF OXYGEN AND MOISTURE TO THE ROOTS OF THE PLANT.
 - CLEAR, REMOVE AND DISPOSE OF BRUSH, SNAGS, AND RUBBISH WITHIN 60" OF THE PLANTING HOLE. GRADE THE AREA TO MEET THE EXISTING LANDSCAPE UNLESS PLANTING ON A SLOPE.
 - PLANT ALL NEW PLANT MATERIAL AT ORIGINAL FIELD GROWN LEVEL. TAMP SOIL MIX BELOW ROOT BALL. PLANT MATERIAL NOT PLANTED IN THIS MANNER WILL BE REJECTED.
 - PLANTING HOLES ASSOCIATED WITH PROPOSED TREES SHOULD BE SLOPED (NOT COMPACTED) AND A MINIMUM OF 18-24 INCHES WIDER THAN THE DIAMETER OF THE ROOT BALL. TREES WILL BE INSTALLED SUCH THAT THE TOP OF THE ROOT MASS IS LEVEL WITH THE SURFACE OF THE PLANTING HOLE. TREES SHALL ALSO BE INSTALLED 3-5 INCHES ABOVE GRADE ON SITES CONTAINING CLAY.



ameco

511 Congress St., Suite 200, Portland ME 04101
 P: (207) 775-5401 F: (207) 772-4762 www.ameco.com

PLEASE NOTE: THIS DOCUMENT MAY NOT ACCURATELY REPRESENT THE FINAL DOCUMENT. ONLY AN ENGINEER, ARCHITECT OR SURVEYOR SHALL BE RESPONSIBLE FOR THE DESIGN. THIS DOCUMENT MAY BE UTILIZED FOR BUSINESS OR CONSTRUCTION PURPOSES.

Issued for Construction
August 23, 2012

Project:
 Site Development Improvements
 Southworth-Milton, Inc. DBA Milton Cat
 U.S. Route 2, Richmond, Vermont

NO.	REVISION	DATE
0	ISSUED FOR CONSTRUCTION	08-23-12
1	REVISION	

PROJECT NUMBER: 3618128124
 PROJECT MANAGER: GRC
 DATE OF RECORD: MSD
 DRAWN BY: WJW
 CAD FILE: C-104
 SCALE: 1" = 50'
 GRAPHIC SCALE:
 0" 1"
 TITLE:
 Site Landscaping Plan
 DRAWING NO:
 C-104
 SHEET:
 OF