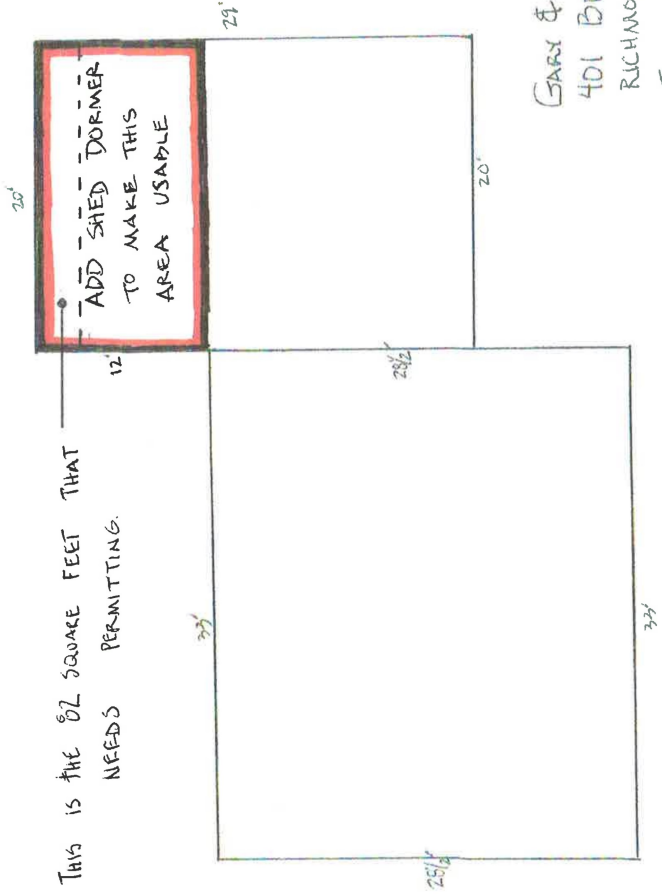


GARY & JEAN BRESSOR  
 401 BRIDGE STREET  
 RICHMOND, VERMONT  
 JANUARY 14, 2023

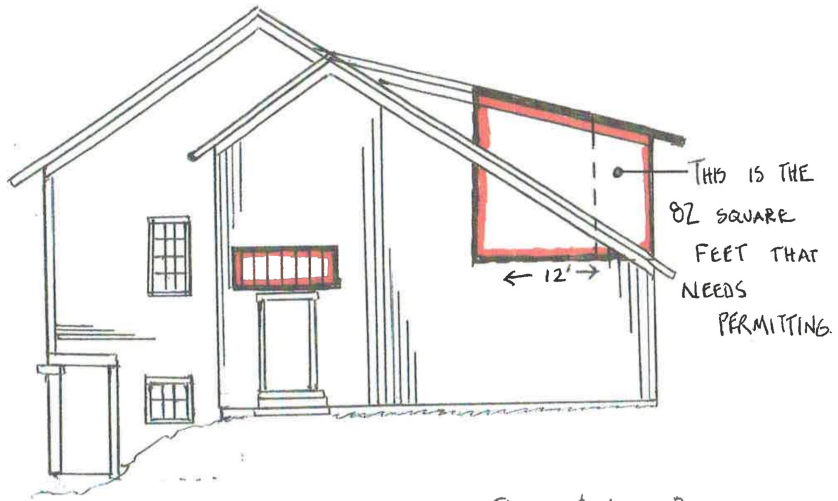
THIS IS THE 82 SQUARE FEET THAT  
NEEDS PERMITTING.

ADD SHED DORMER  
TO MAKE THIS  
AREA USABLE

2nd FLOOR  
BR. 0401



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SOUTH ELEVATION

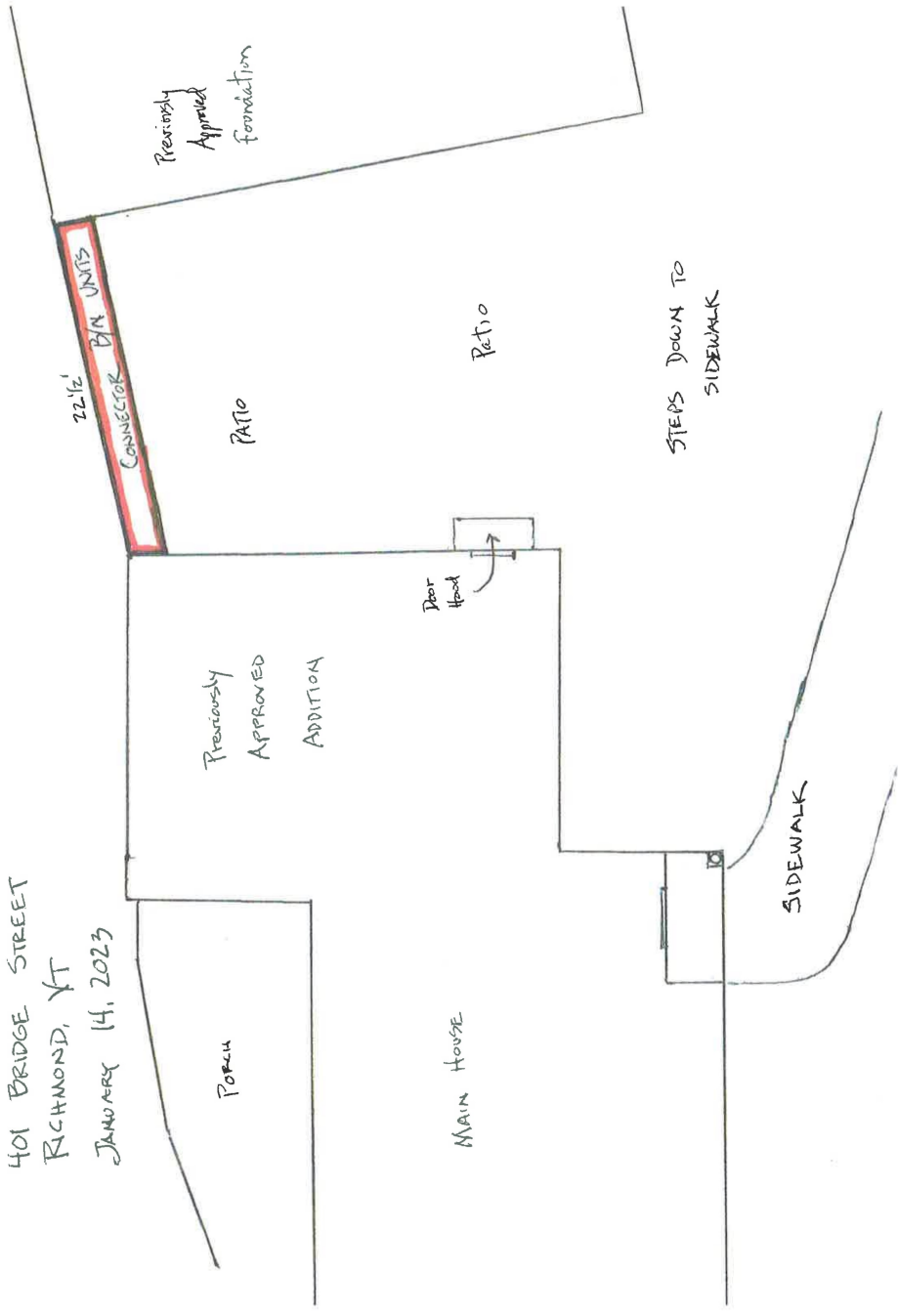
GARY & JEAN BRESSOR

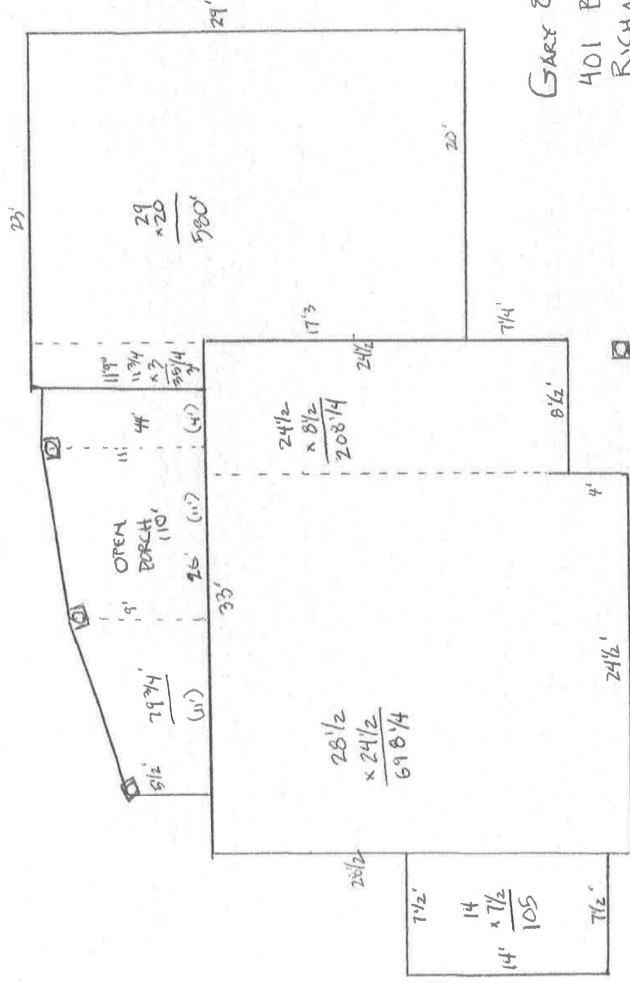
401 BRIDGE STREET  
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JANUARY 14, 2023

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RICHMOND, VT  
JANUARY 14, 2023

CONNECTOR & SITEWORK





1st FLOOR  
BR 0401

Main House = 1,011.50

ADDITION =  $\frac{61225}{1,626 \frac{3}{4} \text{sq ft}}$

PORCH 233 3/4'

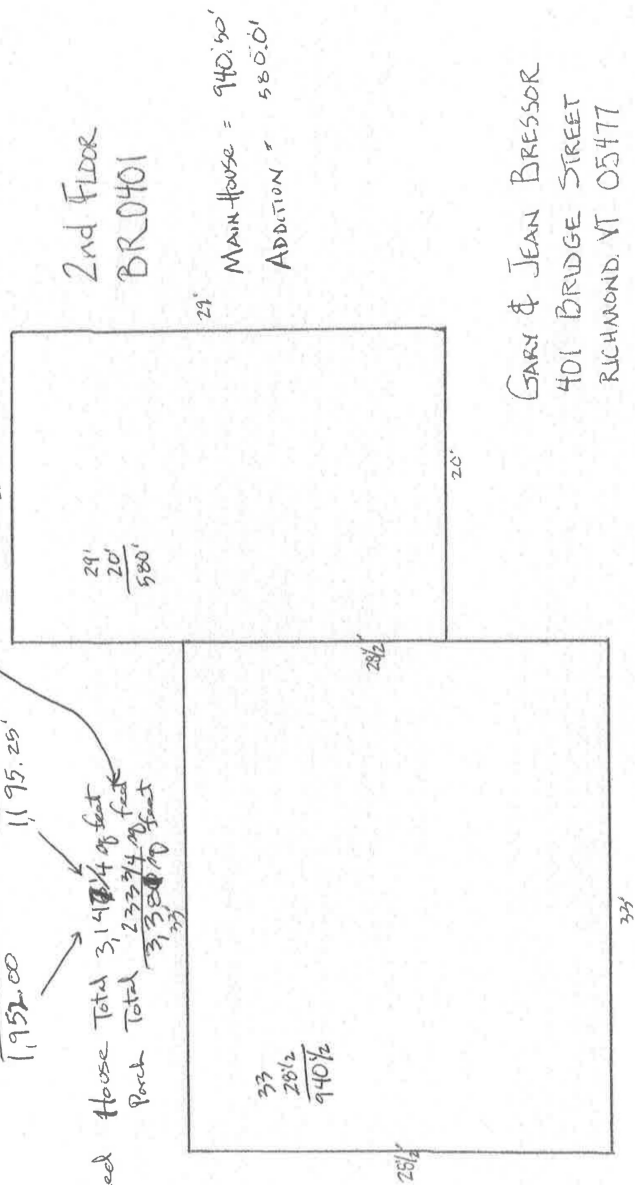
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401 BRIDGE STREET  
RICHMOND, VERMONT  
JANUARY 14, 2023

TOTAL SQUARE FOOTAGE -

1st Floor -	1,011.50	
2nd Floor -	940.50	
	<u>1,952.00</u>	
		580
		<u>1,195.25</u>

Porch  
233 3/4'

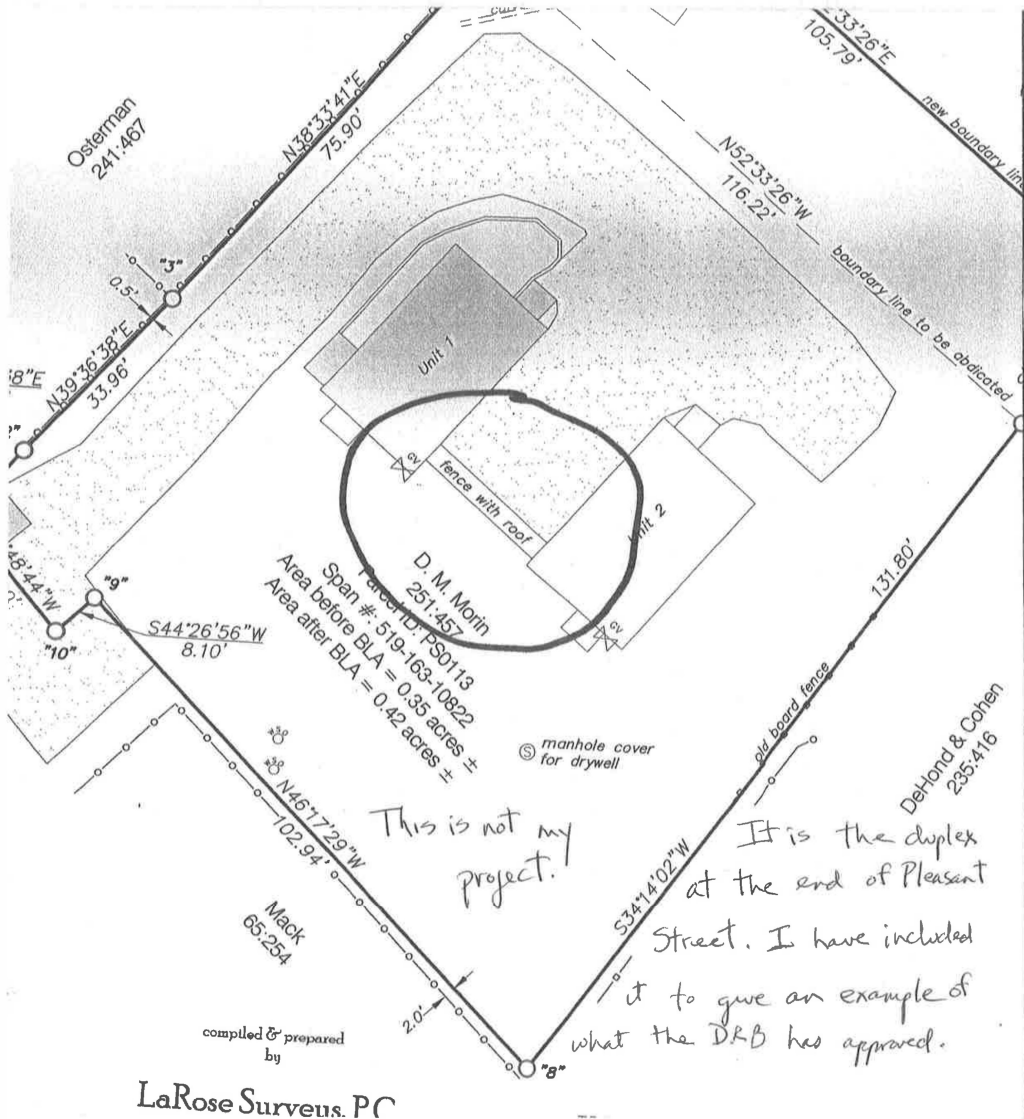
Combined House Total 3,141 1/4 sq feet  
 Porch Total 233 3/4 sq feet  
3,375 1/4 sq feet



2nd FLOOR  
BR0401












MAIN HOUSE = 940.50'  
 ADDITION = 580.00'

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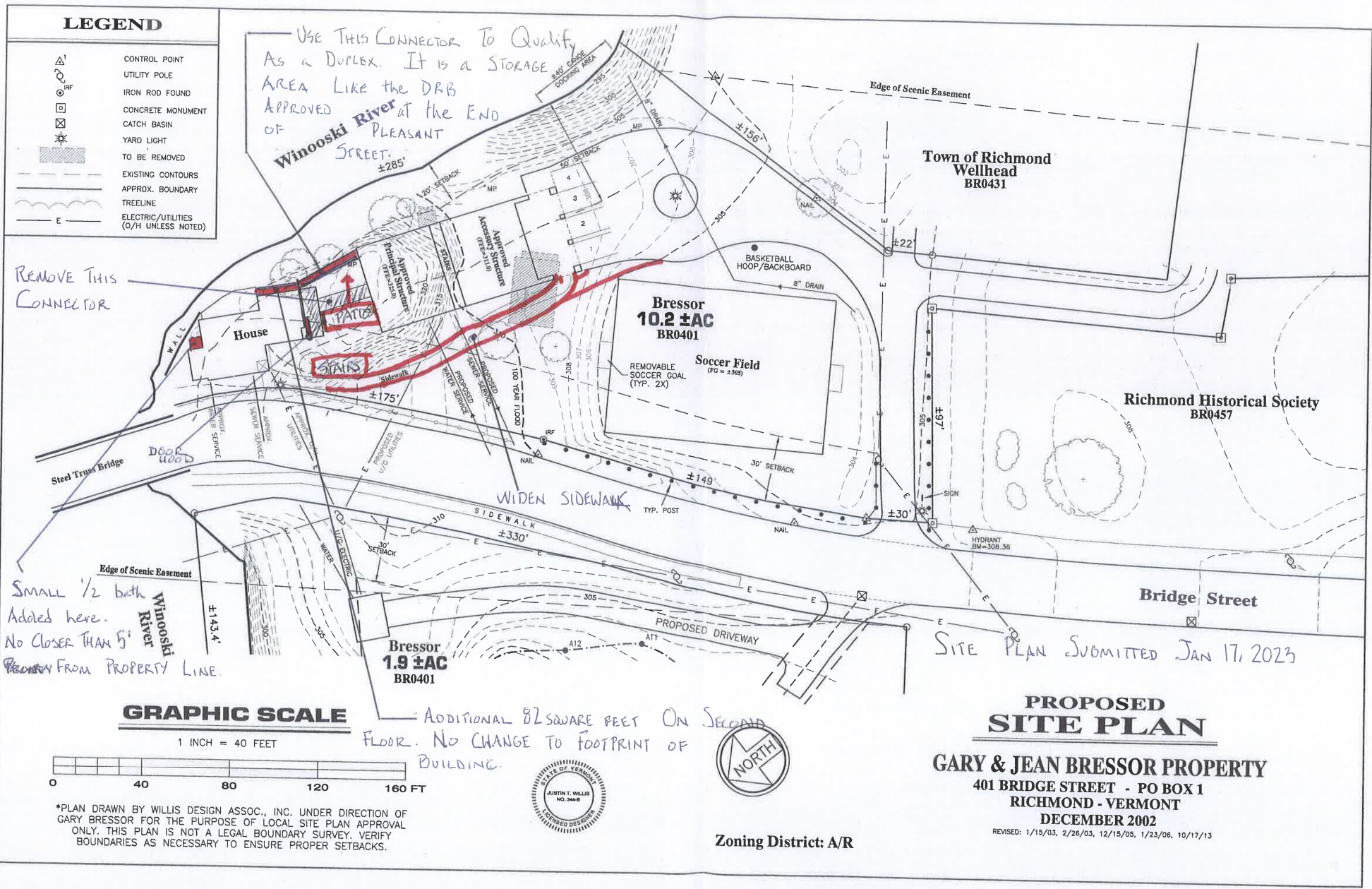
*This is not my project. It is the duplex at the end of Pleasant Street. I have included it to give an example of what the DRB has approved.*

**LEGEND**

-  CONTROL POINT
-  UTILITY POLE
-  IRON ROD FOUND
-  CONCRETE MONUMENT
-  CATCH BASIN
-  YARD LIGHT
-  TO BE REMOVED
-  EXISTING CONTOURS
-  APPROX. BOUNDARY
-  TREELINE
-  ELECTRIC/UTILITIES (O/H UNLESS NOTED)

Use THIS CONNECTOR To Qualify  
As a DUPLEX. It is a STORAGE  
AREA LIKE the DRB  
APPROVED at the END  
OF Winooski River  
STREET. ±285'

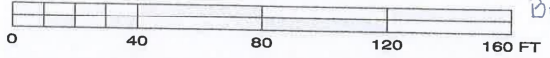
REMOVE THIS  
CONNECTOR



Small 1/2 bath  
Added here.  
No CLOSER THAN 5'  
FROM PROPERTY LINE.

**GRAPHIC SCALE**

1 INCH = 40 FEET



ADDITIONAL 82 SQUARE FEET ON SECOND  
FLOOR. NO CHANGE TO FOOTPRINT OF  
BUILDING.



**PROPOSED  
SITE PLAN**

**GARY & JEAN BRESSOR PROPERTY**  
401 BRIDGE STREET - PO BOX 1  
RICHMOND - VERMONT  
DECEMBER 2002

REVISED: 1/15/03, 2/26/03, 12/15/05, 1/23/06, 10/17/13

Zoning District: A/R