

BREAKDOWN OF FEES

\$ 50 (Credit for future Zoning Permit App.)

ZONING FEES:

ACCESS PERMIT:

\$ 150 (Site Plan review)

DRB:

R.O.W. FEES

FIRE IMPACT

WATER EXCAVATION:

RECORDING FEES:

\$ 60 (for site plan) + \$ 15 (Credit for future Zoning Permit)

TOTAL:

\$ 275

CHECK NUMBER:

104477

NOTES:

For SP 2026-004

+ Credit for Future Zoning Permit Application.

(re: 68 Field Lane)

\* See supporting email from me in the ~~attached~~ attachments for more context.



Dante Denault  
Zoning Administrative Officer  
Town of Richmond  
P.O. Box 285  
Richmond, VT 05477

3/11/2026

Re: Zoning Application - Stormwater Treatment Design for 3-Acre Permitting  
Riverview Commons  
Richmond, VT

Dear Mr. Denault,

Riverview Commons Mobile Home Park (Riverview MHP) is located on a 96.19-acre property owned by Falcon Property Management Partners Inc. The community is sited along Summers Street, North Road, Meadow and Field Lanes, Hill Top Circle, and Lower Circle Extension off of VT Route 117 and Governor Peck Highway in Richmond, VT. Riverview MHP includes 12.36 acres of existing impervious roads, driveways, manufactured homes, and sheds, which does not comply with Vermont stormwater standards. Therefore, the community is required to design and implement stormwater treatment retrofits to comply with the 3-Acre Rule introduced by the Vermont Department of Environmental Conservation as part of the latest Stormwater Permitting Rule, effective March 15, 2019. The proposed stormwater treatment design consists of constructing multiple stormwater treatment practices throughout the Site.

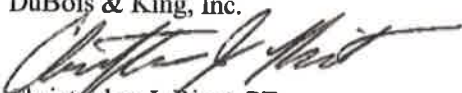
Based on an evaluation of the site layout, utilities, and environmental considerations such as soils, floodplains, wetlands, and groundwater protection, D&K has proposed stormwater treatment consisting of one gravel wetland and two alternative Focal Point Biofiltration systems.

A non-infiltrating gravel wetland is proposed in the grassed area bounded by Summer Street, Field Lane, and Meadow Lane. The wetland will treat a drainage area of approximately 13.1 acres with approximately 3.36 ac of impervious surfaces. The gravel wetland will discharge treated stormwater and overflow to a stone-lined swale and apron that outlets to a wooded slope and wetland adjacent to Governor Peck Highway.

Two alternative treatment practices, non-infiltrating Focal Point Biofiltration systems, are proposed along Summers Street. FocalPoint #1 will treat a drainage area of approximately 2.32 acres with approximately 1.16 ac of impervious area. This system will discharge treated stormwater and overflow to a vegetated area west of the community eventually to an off-site wetland. FocalPoint #2 will treat a drainage area of approximately 1.02 acres with approximately 0.48 ac of impervious area. This system will discharge treated stormwater and overflow to a stone-lined plunge pool that outlets to a wooded slope and wetland adjacent to Governor Peck Highway.

See Design Plans which include locations, types, and details of treatment practices proposed. It is anticipated that the stormwater treatment practices will be constructed in the summer of 2027.

Sincerely,  
DuBois & King, Inc.



Christopher J. Rivet, PE  
Project Manager



# SITE PLAN APPLICATION

Permit # SP2026-004  
Parcel ID: FL0068

Please review the Richmond Zoning Regulations and provide all the information requested in this application. Additional local permits and approvals may also be required (such as access permits, water & sewer allocations, E911 address assignments.) For information contact the Zoning Administrative Officer at 434-2430. Other federal, state and local permits or approvals may additionally be required, it is the duty of the applicant to obtain all relevant and applicable approvals. To inquire about State permits contact the State Permit Specialist at 802-477-2241.

Application Date: 02/27/2026 Physical Address of Property: 68 Field Lane

Applicant Name: Falcon Management Company, Inc. Property Owner Name: Same as Landowner

Applicant Mailing Address: c/o Rosemarie Stoffo Owner Mailing Address: \_\_\_\_\_  
4801 Linton Blvd. Suite 11A, Box 607 Delray Beach, FL 33445

Phone: 917-885-1582 Phone: \_\_\_\_\_

Email: resfalcon@outlook.com Email: \_\_\_\_\_

Brief description of Project: Construction of stormwater treatment practices, including gravel wetland and two Focal Point Biofiltration systems

Please review Section 5.5 of the Richmond Zoning Regulations and provide the follow information. Information may be presented within the form of a cover letter with associated plans and technical information.

- Narrative description of the project
- Names and addresses of all abutters, including those across contiguous roads or highways
- Stamped addressed envelopes for all abutters.
- A site plan prepared by a registered surveyor, professional planner, engineer, architect, or landscape planner. The site plan shall be drawn to scale, and submitted with written supporting data, showing the following:
  - Existing features: contours, structures, utility easements, rights-of-way, deed restrictions, significant landscape features, roads or highways, surveyed boundaries, dimensions, total lot size; and
  - Proposed land development: land use areas, structures, driveways, curb cuts, parking and loading areas, traffic circulation, pedestrian walkways, outside display areas, signs, site grading, landscaping, plantings and screening, setbacks and buffer strips, outside lighting, equipment and waste storage areas and sewage disposal areas.
- Information as to the time period or phasing for completion of the project.
- Three copies of the application packet (no larger than 11"x17"), one large format copy of all plans, one digital copy of all materials.
- Site Plan Application Fee— \$150.00 (An additional \$500 Technical Review Fee may apply—Staff shall determine) and \$60.00 Recording Fee

Please note, upon review of the application the DRB may also require the following submittals: > Security as provided in Section 8.2.5 > Formal traffic study if a substantial alteration in public traffic flow is anticipated or a large-scale parking area is planned. This may include analyses of traffic volumes, average daily trips, turning movements, patterns of ingress and egress, levels of service on roadways and at intersections, and modes of traffic control.

Signatures: The undersigned hereby certifies this information to be complete and true

Rosemarie E Stoffo  
dotloop verified  
03/11/26 12:32 PM  
EDT  
GIHI-YOLD-OSCA-AJPS

Applicant Signature

Rosemarie E Stoffo  
dotloop verified  
03/11/26 12:50 PM EDT  
JZD4-LCRW-PYR1-DVLF

Property Owner Signature

Date

**NOTE:** Upon application review, the Zoning Administrative Officer shall issue a Development Review Board referral letter to the applicant confirming the date and time of the upcoming hearing before the Board as per 5.2.1. The referral letter shall also include a Notice Poster which will be required to be posted on the subject property within view of a public right of way, as per section 8.2.3. This information shall be sent directly to the Applicant unless otherwise directed.

— DO NOT WRITE BELOW THIS LINE—OFFICE USE ONLY—DO NOT WRITE BELOW THIS LINE—OFFICE USE ONLY—DO NOT WRITE BELOW THIS LINE—OFFICE USE ONLY—

Application Complete Date: 4/24/26 DRB Referral Letter Issued (date): 4/24/26 DRB Hearing Date: 5/13/26

Comments: Paid for this Site Plan + credit for Future Zoning Permit Zoning Fee: \$275 Check #: 204477

Zoning Administrative Officer signature: Jamie DeVault Date: 4/24/26

# FHOD Jurisdiction Analysis

**To:** Christopher Rivet <crivet@dubois-king.com>; Keith Osborne <koborne@richmondvt.gov>

**Subject:** Re: Riverview Commons 3-Acre Stormwater Treatment Project

Hey Chris,

Thanks for sending over the initial plans and a Zoning Permit Application. Unfortunately, that Zoning Permit Application will be considered **incomplete** until the fee is received, and other Town approvals are received.

Because this project will involve changes to landscaping (and maybe screening), we have determined that the proposed site plan changes are major amendments which require "the submittal of a revised site plan to the DRB for review." RZR Section 5.5.5(b). **As such, a Site Plan Review Application is required here and is prerequisite to receiving a Zoning Permit Application.** Linked is the [Site Plan Review Application](#) form. Please pay attention to the checklist of submission requirements listed therein and reach out if you have any questions. **The total fee for a Site Plan Review Application is \$210** (\$150 application fee + \$60 recording fee). **This will be in addition to the total fee required for a Zoning Permit Application, which is \$65** (\$50 application fee and \$15 recording fee). **This equates to a total sum owed of \$275** (\$210 for the Site Plan Review Major Amendment and \$65 for the Zoning Permit Application). I state this now so you can move your monetary requests along.

Upon review of Sheet 11, we noticed proposed plans to "regrade swale and replace culvert" located in the Flood Hazard Overlay District (FHOD) on Lower Circle Extension. All other proposed plans seemingly fall outside of the FHOD. Because insignificant repairs (those worth less than \$500) and maintenance (of storm water drainage areas, culverts, or channel management activities) are exempt activities under RZR Section 6.8.10 and no other proposed work falls within the FHOD, effectively, all proposed development falls outside the jurisdiction of the FHOD or is otherwise exempt from FHOD review. Thus, the FHOD regulations do not seemingly apply to this project as proposed.

Once we get receipt of the Site Plan Review Application, supporting documents, and required fee, you will be scheduled for the next available DRB meeting. Please view the attached DRB Application Deadlines for more information on scheduling.

Please do not hesitate to reach out if you have any questions.

Respectfully,

Danté DeNault (he/him)

Zoning Administrator & E911 Coordinator

Town of Richmond

P.O. Box 285

Richmond, VT 05477

802-556-4959

ddenault@richmondvt.gov

TO NOTE: All emails and any respective attachments to the Town may be considered public records and are subject to disclosure under the Vermont Open Public Records Act.

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**From:** Christopher Rivet <crivet@dubois-king.com>

**Sent:** Tuesday, February 24, 2026 7:35 AM

**To:** Dante DeNault <ddenault@richmondvt.gov>; Keith Osborne <koborne@richmondvt.gov>

**Subject:** Re: Riverview Commons 3-Acre Stormwater Treatment Project

**NOT FOR  
 CONSTRUCTION  
 PERMIT PLANS**

NO.	DATE	DESCRIPTION	BY	CK'D
1	02/04/2026	ADDED WETLAND DISTURBANCE PLAN	CJR	

RIVERVIEW  
 COMMONS  
 68 FIELD LANE  
 RICHMOND, VT 05477

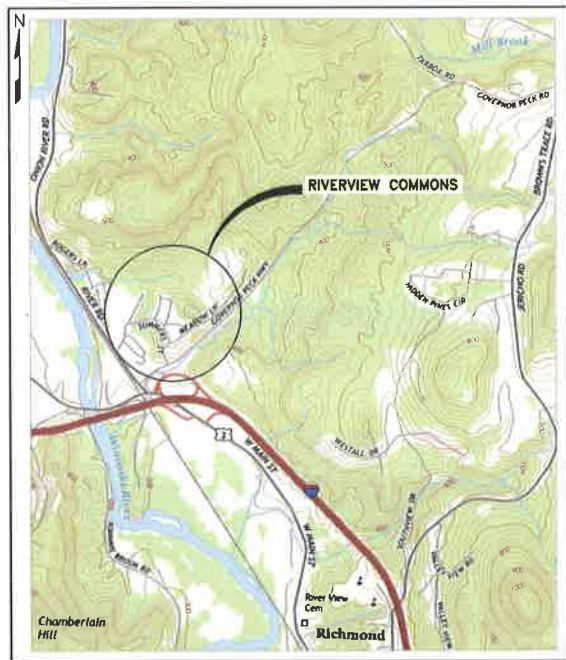
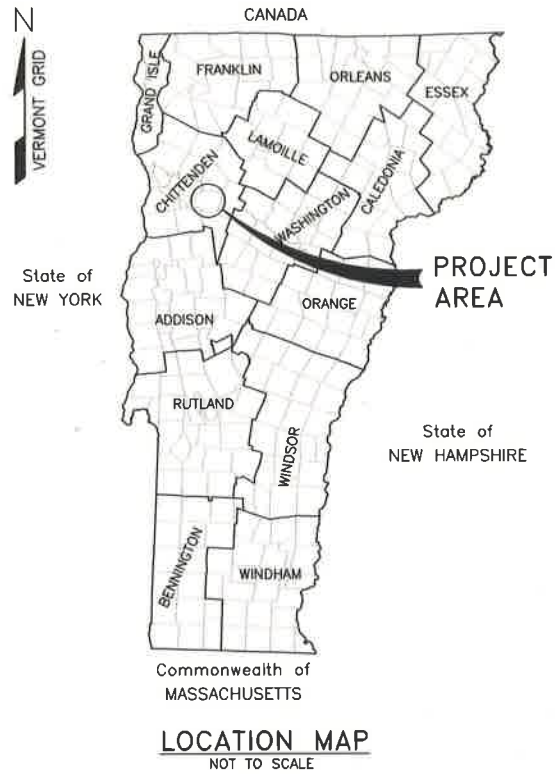
STORMWATER  
 TREATMENT DESIGN  
 FOR 3-ACRE PERMIT

SHEET TITLE  
  
 TITLE SHEET

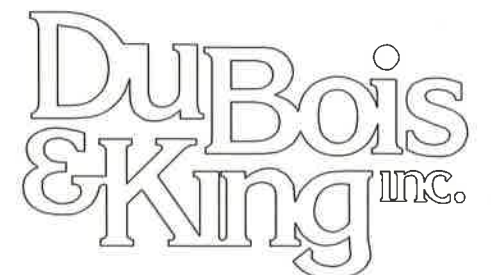
DRAWN BY	DATE
LD/SLR	12/22/2025
CHECKED BY	DRAWN PROJECT #
CJR	128855
PROJECT NO.	DRAWING NO.
CJR	

SHEET NUMBER  
  
**1**

# TOWN OF RICHMOND, VERMONT RIVERVIEW COMMONS STORMWATER TREATMENT DESIGN FOR 3-ACRE PERMIT PLANS DECEMBER 22, 2025



**PROJECT LOCATION PLAN**  
 SCALE: 1" = 2000 FEET ±



engineering  
 planning  
 management  
 development

**LIST OF DRAWINGS**

TITLE	SHEET NO.
TITLE SHEET	1
GENERAL NOTES	2
EXISTING CONDITIONS	3
PROPOSED CONDITIONS	4
CONSTRUCTION PLAN 1	5
CONSTRUCTION PLAN 2	6
DETAILS 1	7
DETAILS 2	8
FOCAL POINT DETAILS	9
MAINTENANCE PLAN	10
EROSION PREVENTION AND SEDIMENT CONTROL PLAN	11
EROSION PREVENTION AND SEDIMENT CONTROL DETAILS	12
WETLAND DISTURBANCE PLAN	13

I:\128855 - REC Three-Acre MDC 13 Riverview Commons\Drawings\CAD\External\TL.dwg, 2/18/2026, 1:38 PM

**GENERAL NOTES**

**GENERAL CONDITIONS**

- THE PROJECT AND PROPERTY OWNER IS FALCON MANAGEMENT COMPANY.
- SITE WORK SHALL BE CONSTRUCTED FROM A COMPLETE SET OF PLANS. THE ENGINEER IS TO BE NOTIFIED OF ANY CONFLICT WITHIN THIS PLAN SET. A SET OF CONSTRUCTION PLANS AND TECHNICAL SPECIFICATIONS SHALL BE ON SITE AND IN GOOD CONDITION AT ALL TIMES DURING CONSTRUCTION ACTIVITIES.
- CONSTRUCTION IS TO BE CARRIED ON IN ACCORDANCE WITH THESE PLANS AND THE VTRANS STANDARD SPECIFICATIONS FOR CONSTRUCTION DATED 2024, AS APPROVED BY THE FEDERAL HIGHWAY ADMINISTRATION ON OCTOBER 25, 2023. FOR USE ON THIS PROJECT, INCLUDING ALL SUBSEQUENT REVISIONS AND SUCH REVISED SPECIFICATIONS AND SPECIAL PROVISIONS ARE INCORPORATED IN THESE PLANS.
- ALL PRIVATE PROPERTY OWNER COMMUNICATION SHALL BE CONDUCTED THROUGH THE OWNER'S REPRESENTATIVE. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL REVIEW CONDITIONS OF ENTRY AND ABIDE BY THEM.
- CONTRACTOR SHALL INSTALL LIMIT OF DISTURBANCE FENCE PRIOR TO START OF CONSTRUCTION, AND THERE SHALL BE NO DISTURBANCE BEYOND THE LIMITS OF FENCE.
- THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY DUBOIS & KING, INC. DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR OR ENGINEER HERE ON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS, WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR OTHER AGENCIES WITH AUTHORITY OVER THE PROJECT.
- CONTRACTOR SHALL LAY OUT THE CONSTRUCTION BASELINES, STAKE OUT LIMITS OF PROPOSED WORK AND REVIEW WITH THE ENGINEER PRIOR TO CONSTRUCTION. ALL APPLICABLE EROSION CONTROL MEASURES TO BE INSTALLED PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL INSTALL AND MAINTAIN TRAFFIC CONTROL DEVICES AS NECESSARY AND IN A MANNER CONSISTENT WITH THE MOST CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY SHORING, WATER DIVERSION, AND DEWATERING REQUIREMENTS NEEDED FOR THE PROJECT IN ACCORDANCE WITH REGULATIONS AND PERMIT REQUIREMENTS.
- WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. IN CASE OF CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWING AND/OR TECHNICAL SPECIFICATIONS, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATION PRIOR TO PROCEEDING WITH CONSTRUCTION ACTIVITIES.
- LOCATE STAGING AREAS AWAY FROM SENSITIVE AREAS INCLUDING WETLANDS AND STREAM BUFFERS IN COMPLIANCE WITH REGULATIONS AND PERMIT REQUIREMENTS.
- TO LIMIT UNDESIRABLE DAMAGE TO AND UNAUTHORIZED REMOVAL OF TREES ADJACENT TO THE WORK AREA, CONTRACTOR SHALL COORDINATE WITH OWNER AND OBTAIN APPROVAL PRIOR TO CUTTING OR TRIMMING TREES WITHIN AND ADJACENT TO THE WORK AREA.
- ALL MATERIALS USED ON THIS PROJECT SHALL CONFORM TO THE TECHNICAL SPECIFICATIONS. FOR ANY DISCREPANCY BETWEEN THE PLANS AND MATERIAL SPECIFICATIONS, THE TECHNICAL SPECIFICATIONS SHALL TAKE PRECEDENCE OVER NOTES CONTAINED WITHIN THESE PLANS.
- VERIFY ALL INDICATED CONDITIONS AND DIMENSIONS IN THE FIELD BEFORE COMMENCING ANY FABRICATION, ORDERING OF MATERIAL, OR PERFORMING ANY WORK. NOTIFY THE ENGINEER OF ANY CONDITIONS OR DIMENSIONS THAT WOULD PREVENT OR HAMPER THE PERFORMANCE OF THE WORK IN ACCORDANCE WITH THE CONTRACT DRAWINGS AND SPECIFICATIONS.
- THE PHRASES "REMOVE AND REPLACE" OR "REMOVE AND INSTALL" SHALL MEAN REMOVE EXISTING CONSTRUCTION AND REPLACE WITH NEW CONSTRUCTION MATERIALS AS NOTED ON THE DRAWINGS AND/OR SPECIFIED.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER HANDLING OF ALL WASTE MATERIAL. SEE VERMONT STATUTE 10 V.S.A. § 6605M.
- THE GENERAL CONTRACTOR WILL REVIEW ALL REQUIREMENTS WITH EACH SUBCONTRACTOR AND BE RESPONSIBLE FOR THEIR FOLLOWING PROPER PRACTICES AS OUTLINED AND REQUIRED.
- THE GENERAL CONTRACTOR IS TO VERIFY THAT ALL MATERIALS ARE HANDLED PROPERLY BOTH ON AND OFF-SITE.

**EXISTING INFORMATION**

- TOPOGRAPHY BASED ON LIDAR INFORMATION DOWNLOADED FROM VERMONT CENTER FOR GEOGRAPHIC INFORMATION (VCGI), SOURCE DATE OCTOBER 31, 2017. ELEVATION DATUM IS NAVD88.
- THE LOCATION AND EXTENT OF UTILITIES SHOWN ON THE SITE DRAWINGS ARE BASED ON AVAILABLE INFORMATION. DUBOIS & KING, INC. INCLUDES INFORMATION WITHOUT WARRANTING ITS ACCURACY IN ANY WAY. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE, AND ELEVATION OF ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION. THE OWNER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION SHALL BE DETERMINED AND AGREED UPON BY OWNER OR OWNER'S REPRESENTATIVE BEFORE PROCEEDING WITH WORK.
- EXISTING WETLAND BOUNDARIES WERE DELINEATED ON JULY 20, AUGUST 2-3, 2023 BY JONATHAN RICHARDSON OF D&K AND ON SEPTEMBER 21+25, 2023 BY AARON MARCUS OF D&K. THE WETLAND DELINEATION WAS PERFORMED IN ACCORDANCE WITH THE ARMY CORPS OF ENGINEERS (COE) 1987 WETLAND DELINEATION MANUAL AND THE COE 2012 REGIONAL SUPPLEMENT FOR THE NORTH CENTRAL AND NORTHEAST REGION.
- PARCEL BOUNDARY INFORMATION DOWNLOADED FROM VCGI. SOURCE DATE JANUARY 24, 2018.
- THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE EXISTING CONDITIONS OF THE SITE AND SURROUNDINGS PRIOR TO THE START OF ANY CONSTRUCTION.

**CODES & PERMITS**

- THE FOLLOWING PERMITS ARE BEING SECURED FOR THIS PROJECT:
  - ZONING PERMIT
  - STORMWATER PERMIT
  - CONSTRUCTION PERMIT
  - WETLANDS PERMIT
  - ACT 250 PERMIT
- THE CONTRACTOR IS RESPONSIBLE FOR BEING FAMILIAR WITH THE REQUIREMENTS OF THE PERMITS FOR COMPLIANCE DURING CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN A COPY OF THE PERMITS ON SITE DURING ALL CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING ALL WORK IN STRICT ACCORDANCE WITH ALL MUNICIPAL, STATE, & FEDERAL ORDINANCES, CODES, RULES, AND LAWS HAVING JURISDICTION. THE CONTRACTOR SHALL NOT PROCEED WITH ANY WORK WHICH MAY NOT COMPLY COMPLETELY WITH ALL MUNICIPAL, STATE, & FEDERAL ORDINANCES, CODES, RULES, AND LAWS HAVING JURISDICTION. THESE MAY INCLUDE, BUT ARE NOT LIMITED TO:
  - STATE OF VT ENVIRONMENTAL PROTECTION RULES, CHAPTER 22
  - STATE OF VT ENVIRONMENTAL PROTECTION RULES, CHAPTER 30
  - VERMONT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION
  - TOWN CODES AND PERMITS AS REQUIRED.

**MEETINGS, SUBMITTALS AND REQUIRED INSPECTIONS**

- THE CONTRACTOR SHALL PARTICIPATE IN AN ON-SITE PRE-CONSTRUCTION CONFERENCE PRIOR TO CONSTRUCTION ACTIVITY INCLUSIVE OF MOBILIZATION.
- THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER MATERIAL SLIPS FOR ALL MATERIALS AND ITEMS USED ON THE PROJECT PURSUANT TO THE TECHNICAL SPECIFICATIONS.
- THE OWNER'S REPRESENTATIVE WILL BE REQUIRED TO OBSERVE AND APPROVE CRITICAL ASPECTS OF THE CONSTRUCTION PRIOR TO EXECUTION. THE CRITICAL ITEMS LIST WILL BE DISCUSSED AT THE PRE-CONSTRUCTION CONFERENCE. FAILURE OF THE CONTRACTOR TO PROVIDE THE OWNER'S REPRESENTATIVE WITH A MINIMUM OF 48-HOUR NOTICE MAY RESULT IN DELAYS TO THE PROJECT AT NO ADDITIONAL COST TO THE OWNER. SHOULD CRITICAL ITEMS BE CONSTRUCTED PRIOR TO APPROVAL, THE OWNER'S REPRESENTATIVE MAY DIRECT FOR REMOVAL AND RECONSTRUCTION.

**SITE MAINTENANCE**

- CONTRACTOR SHALL SUBMIT A DUST CONTROL PLAN TO BE APPROVED BY THE OWNER'S REPRESENTATIVE.
- PREVENT WATER PONDING RESULTING FROM CONSTRUCTION OPERATIONS. PROMPTLY REMOVE ANY PONDED WATER TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
- ALL AREAS OUTSIDE THE LIMITS OF CONSTRUCTION WHICH ARE DAMAGED BY THE CONTRACTOR SHALL BE RESTORED TO THEIR ORIGINAL CONDITION TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
- UPON COMPLETION OF THE WORK, REMOVE ALL DEBRIS, EQUIPMENT AND UNUSED MATERIALS FROM THE PROPERTY AND RESTORE THE "CONTRACTOR'S MATERIAL AND EQUIPMENT STAGING AREA" TO ITS ORIGINAL CONDITION, AS APPROVED BY THE OWNER'S REPRESENTATIVE.

**UTILITY & EXCAVATION**

- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND DETERMINING ALL UTILITIES (ABOVE AND BELOW GROUND) WITHIN THE PROJECT LIMITS, AND TO TAKE THE NECESSARY PRECAUTIONS TO PROTECT UTILITIES DURING CONSTRUCTION. CONTACT DIG-SAFE AT 1-800-DIG-SAFE ([WWW.DIGSAFE.COM](http://WWW.DIGSAFE.COM)) A MINIMUM OF 72 HOURS BEFORE GROUND DISTURBANCE. ALL DISTURBANCE OR DAMAGE TO UTILITIES BY CONTRACTOR ACTIVITIES WILL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ALL REPAIRS SHALL BE REVIEWED AND APPROVED BY THE ENGINEER OR OWNER (FALCON MANAGEMENT COMPANY PHONE NUMBER: 802-598-0251).
- CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL UTILITY RELOCATION AND INSTALLATION WITH THE APPROPRIATE UTILITY. THE APPROPRIATE UTILITY OR ITS AUTHORIZED REPRESENTATIVE WILL PERFORM ADJUSTMENTS OF ALL UTILITY STRUCTURES.
- ALL EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION ARE TO REMAIN IN SERVICE UNLESS OTHERWISE NOTED ON THE PLANS. UTILITIES SHALL BE MAINTAINED IN ACTIVE OPERATION AT ALL TIMES. PROVIDE BYPASS PIPING AND PUMPING WHERE REQUIRED. ALL NEW UTILITY SYSTEMS SHALL BE OPERATIONAL BEFORE ANY EXISTING SYSTEMS ARE ABANDONED OR REMOVED. IF EXISTING UTILITIES ARE TAKEN OUT OF SERVICE FOR CONNECTIONS, THE TIMING SHALL BE APPROVED BY THE ENGINEER.
- THE LOCATION, ELEVATION AND SIZE OF EXISTING UTILITIES SHOWN ON THE CONTRACT DRAWINGS ARE APPROXIMATE.
- VERIFY THE LOCATION OF EXISTING UNDERGROUND UTILITIES WITHIN THE WORK PRIOR TO CONSTRUCTION.
  - EXERCISE EXTREME CAUTION WHEN WORKING ADJACENT TO EXISTING POWER, COMMUNICATIONS, WATER OR GAS LINES TO PREVENT DAMAGE TO THESE LINES.
  - IMMEDIATELY REPAIR ANY DAMAGE TO EXISTING UTILITIES IN A MANNER APPROVED BY THE ENGINEER, AT NO COST TO THE OWNER.
  - ENSURE THAT ALL PIPES, CATCH BASINS, MANHOLES, SWALES, ETC. WITHIN AND NEAR THE AREA OF WORK ARE KEPT FREE FROM MATERIAL THAT WOULD HAMPER THE PERFORMANCE OF THE DRAINAGE SYSTEMS. FURNISH AND INSTALL SOIL EROSION AND SEDIMENTATION CONTROL DEVICES AS SHOWN ON THE CONTRACT DRAWINGS UPON COMPLETION OF CONSTRUCTION. REMOVE ACCUMULATED SEDIMENT AND REMOVE CONTROL DEVICES.

**RESTORATION OF SURFACES**

- AT THE COMPLETION OF WORK, THE CONTRACTOR MUST RESTORE ACCESS ROADS, TOWN HIGHWAYS AND STAGING AREAS TO PRE-CONSTRUCTION CONDITION. RESTORATION MAY INCLUDE BUT NOT LIMITED TO PLACEMENT OF PAVEMENT OR GRAVEL ON EXISTING DRIVES, OR APPLICATION OF TOPSOIL, SEED, FERTILIZER, AND MULCH TO GRASSED AREAS.

**CIVIL NOTES**

**GRADING**

- ANY EXCESS MATERIAL TO BE DISPOSED OF OFF SITE SHALL BE REMOVED AT NO ADDITIONAL COST UNLESS OTHERWISE APPROVED IN ADVANCE BY THE ENGINEER. MATERIAL SHALL BE DISPOSED OF IN AN APPROVED LOCATION AWAY FROM WETLANDS, FLOODPLAIN, OR OTHER SENSITIVE AREAS.
- ALL EXISTING TREE STUMPS LOCATED WITHIN 10 FEET OF THE NEW CONSTRUCTION SHALL BE REMOVED AND THE RESULTING HOLE SHALL BE BACKFILLED AND COMPACTED WITH EMBANKMENT MATERIAL, AS DIRECTED BY THE ENGINEER.
- ALL REMOVED TOPSOIL SHALL BE SCREENED AND STOCK PILED FOR FUTURE REUSE. CONTRACTOR SHALL NOT MIX ANY WOODY VEGETATION, TREE STUMPS, ROOTS OR OTHER NON-SUITABLE MATERIAL WITH THE STOCK PILED TOPSOIL.
- CONTRACTOR SHALL PROPERLY DISPOSE OF ALL STRIPPED WOODY VEGETATION, TREE STUMPS AND ROOTS REMOVED FROM THE PROJECT AREA AT A PERMITTED DUMP SITE PER CITY OF VERGENNES LAND DEVELOPMENT CODE. ON-SITE BURNING IS NOT ALLOWED.
- COMPACTION TESTING IS REQUIRED ON BACKFILL AREAS. REFER TO APPLICABLE DETAILS.
- PLACE 4 INCHES MINIMUM OF LOAM, TOPSOIL AND SEED ON DISTURBED AREAS. LOAM SHALL BE STRIPPED FROM THE EMBANKMENT IN AREAS TO BE DISTURBED, SCREENED AND RE-USED.

**DRAINAGE**

- WHERE A DRAINAGE STRUCTURE IS TO BE CONSTRUCTED, VERIFY THE LOCATIONS AND INVERTS PRIOR TO CONSTRUCTION.
- WHERE CONNECTIONS TO EXISTING DRAINAGE OR SANITARY STRUCTURES ARE REQUIRED, CUT NEATLY WITHOUT PERCUSSION INTO THE EXISTING STRUCTURE. THE MAXIMUM SIZE OF THE OPENING SHALL NOT EXCEED THE PIPE'S OUTER DIAMETER PLUS 3 INCHES. CONNECT THE NEW PIPE AND SEAL AROUND IT WITH CEMENT MORTAR.

**SOIL EROSION & SEDIMENTATION CONTROL**

- THIS PROJECT IS LOW RISK AND SHALL FOLLOW THE GENERAL PERMIT, 3-9020, AND THE LOW RISK SITE HANDBOOK (2025). ALL WORK MUST BE DONE IN A MANNER WHICH MINIMIZES THE POTENTIAL FOR THE DISCHARGE OF SEDIMENT-LADEN WATER. CONTRACTOR IS RESPONSIBLE FOR DIVERTING, PUMPING, OR OTHERWISE CONTROLLING WATER AS NECESSARY.
- TOTAL EARTH DISTURBANCE IS ESTIMATED TO BE 1.72 AC.
- RECEIVING WATERS INCLUDE UNNAMED WETLANDS AND UNNAMED TRIBUTARIES WITHIN THE WINOOSKI RIVER WATERSHED.
- CONTRACTOR SHALL CONSTRUCT TEMPORARY AND PERMANENT EROSION AND SEDIMENTATION CONTROL FACILITIES PRIOR TO THE COMMENCEMENT OF EARTHWORK OPERATIONS. EROSION CONTROL MEASURES SHALL INCLUDE, BUT ARE NOT LIMITED TO, ITEMS IDENTIFIED WITHIN THIS PLAN SET OR WITHIN THE LOW RISK HANDBOOK FOR EROSION PREVENTION AND SEDIMENT CONTROL. THE CONTRACTOR SHALL MAINTAIN EROSION AND SEDIMENTATION CONTROL DEVICES THROUGHOUT THE PROJECT SITE FOR THE DURATION OF ALL CONSTRUCTION ACTIVITIES.
- ALL SLOPES GREATER THAN 1V:3H SHALL BE PROTECTED FROM EROSION WITH EROSION CONTROL BLANKETS OR OTHER APPROPRIATE SLOPE STABILIZATION CONTROL MEASURES PRIOR TO LOAMING, SEEDING AND MULCHING WITHIN 72 HOURS OF COMPLETION. CONTRACTOR SHALL MAINTAIN EROSION CONTROL PROTECTION UNTIL VEGETATION GROWTH HAS BEEN ESTABLISHED. ALL SLOPE STABILIZATION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION AND VERMONT BEST MANAGEMENT PRACTICES.
- ALL SWALES AND DITCHES WITH SLOPES EXCEEDING 5% SLOPE SHALL BE PROTECTED FROM EROSION WITH MATTING. ALL MATTING SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION. ALL SWALES AND DITCHES SHALL BE PROPERLY STABILIZED PRIOR TO DIRECTING FLOW TO THEM.
- THE CONTRACTOR SHALL NOT PLACE PERMANENT PLANTING AND SEEDING PRIOR TO MAY 1st AND AFTER SEPTEMBER 1st. TEMPORARY SEEDING SUCH AS WINTER RYE MAY BE USED OUTSIDE OF THIS PERIOD.
- GENERAL SITE INSPECTIONS SHALL BE CONDUCTED IN ACCORDANCE WITH SUBPART 2.2.1 OF THE GENERAL PERMIT FOR ALL AREAS THAT HAVE BEEN DISTURBED AND ARE NOT YET FINALLY STABILIZED AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS, IMMEDIATELY BEFORE ANY STORMWATER RUNOFF PRODUCING EVENT, AND DAILY DURING THE WINTER CONSTRUCTION PERIOD (OCTOBER 15 THROUGH APRIL 15). UPON INSPECTION, ANY EROSION PREVENTION AND SEDIMENT CONTROL MEASURE THAT IS NOT INSTALLED PROPERLY, IN NEED OF MAINTENANCE, OR NOT EFFECTIVELY PREVENTING SEDIMENT LADEN DISCHARGES SHALL BE CORRECTED BEFORE THE NEXT RUNOFF PRODUCING EVENT. IN ADDITION:
  - IN ACCORDANCE WITH SUBPART 2.2.3 OR THE GENERAL PERMIT, IF DEWATERING ACTIVITIES ARE OCCURRING, THE PERMITTEE SHALL DAILY DURING DEWATERING ACTIVITIES INSPECT THE DEWATERING DEVICE TO ENSURE PROPER SEDIMENT CONTROL AND THE PERMITTEE SHALL COMPLETE DAILY SAMPLING REQUIREMENTS, USING A TURBIDITY METER, AT ALL POINTS WHERE DEWATERING WATER IS DISCHARGED.
  - IF VISIBLY DISCOLORED STORMWATER RUNS OFF THE CONSTRUCTION SITE OR DISCHARGES TO WATERS OF THE STATE, THE PERMITTEE SHALL TAKE IMMEDIATE CORRECTIVE ACTION TO INSPECT AND MAINTAIN EXISTING BEST MANAGEMENT PRACTICES (BMPs), AND TO INSTALL SUPPLEMENTAL BMPs NECESSARY TO MINIMIZE AND PREVENT THE DISCHARGE.
  - AFTER COMPLETION OF THE CORRECTIVE ACTION, THERE CONTINUES TO BE A DISCHARGE OF DISCOLORED STORMWATER FROM THE CONSTRUCTION SITE TO WATERS OF THE STATE, THE PERMITTEE SHALL NOTIFY DEC BY SUBMITTING A DISCHARGE REPORT IN ACCORDANCE WITH SUBPART 2.2.2 OF THE CGP WITHIN 24 HOURS OF DISCOVERING THE DISCHARGE.
- THE PERMITTEE IS REQUIRED TO CONTINUE PERFORMING ALL GENERAL AND DISCHARGE INSPECTIONS UNTIL COVERAGE UNDER THIS PERMIT IS TERMINATED IN ACCORDANCE WITH SUBPART 5.5 OR EXPIRED.

- ALL AREAS OF EARTH DISTURBANCE, INCLUDING SOIL STOCKPILES, MUST HAVE TEMPORARY OR FINAL STABILIZATION WITHIN 14 DAYS OF THE INITIAL DISTURBANCE. AFTER THIS TIME, DISTURBED AREAS MUST BE TEMPORARILY OR PERMANENTLY STABILIZED IN ADVANCE OF ANY RUNOFF PRODUCING EVENT.

**POST CONSTRUCTION SOIL DEPTH AND QUALITY TREATMENT STANDARD**

- THE POST-CONSTRUCTION SOIL DEPTH AND QUALITY STANDARD (SDQ) SHALL APPLY TO DISTURBED AREAS WHERE SITE GRADING OF THE SLOPES WILL RESULT IN DISTURBANCE TO THE TOPSOIL.
- UNDISTURBED AREAS WHERE THE TOPSOIL ARE RETAINED MEET THE INTENT OF THE SDQ STANDARD AND SHALL NOT BE SUBJECT TO DISTURBANCE SOLELY FOR THE PURPOSE OF SOIL AMENDMENT.
- INSTALLATION OF TOPSOIL TO MEET THE SDQ SHALL BE PERFORMED IN DESIGNATED AREAS TOWARDS THE END OF THE PROJECT. ONCE THE SDQ HAS BEEN ESTABLISHED, AREAS SHOULD BE PROTECTED FROM COMPACTION.
- FILL SLOPES WILL NOT BE SUBJECT TO THE SDQ.
- THE FOLLOWING METHODS SHOULD BE IMPLEMENTED DURING THE REPLACEMENT OF TOPSOIL:
  - STOCKPILE TOPSOIL ON SITE IN A DESIGNATED CONTROLLED AREA, AT LEAST 50 FEET FROM SURFACE WATERS, WETLANDS, FLOOD PLAINS, OR OTHER CRITICAL RESOURCE AREAS;
  - SCARIFY OR TILL SUBGRADE TO A DEPTH OF 4 INCHES, EXCEPT FOR WITHIN THE DRIP LINE OF EXISTING TREES;
  - STOCKPILED TOPSOIL SHALL BE AMENDED, IF NEEDED, TO MEET THE ORGANIC CONTENT REQUIREMENTS:

- PRE-APPROVED RATE: COMPOST SHALL BE INCORPORATED WITH AN ORGANIC MATTER CONTENT BETWEEN 40 AND 65% INTO THE TOPSOIL AT A RATIO OF 1:3; OR
- CALCULATED RATE: INCORPORATED COMPOST MATERIAL OR APPROVED ORGANIC MATERIAL AT A CALCULATED RATE TO ACHIEVE 4 INCHES OF SETTLED SOIL AT THE 4% ORGANIC CONTENT.

- REPLACE STOCKPILED TOPSOIL PRIOR TO PLANTING; AND
- RAKE TO LEVEL, REMOVE SURFACE ROCKS LARGER THAN 2 INCHES IN DIAMETER

- THE FOLLOWING METHODS MAY BE UTILIZED TO MEET THE SOIL QUALITY REQUIREMENTS FOR THE SITE:
  - OPTION 1: LEAVE UNDISTURBED NATIVE VEGETATION AND SOIL, AND PROTECT FROM COMPACTION DURING CONSTRUCTION
  - OPTION 2: REMOVE AND STOCKPILE EXISTING TOPSOIL DURING GRADING
  - OPTION 3: IMPORT TOPSOIL MIX, OR OTHER MATERIALS FOR MIXING, INCLUDING COMPOST, OF SUFFICIENT ORGANIC CONTENT AND DEPTH.

- COMPOST USED TO AMEND STOCKPILED TOPSOIL SHALL MEET THE DEFINITION OF "COMPOST" AS DEFINED IN THE VERMONT AGENCY OF NATURAL RESOURCES SOLID WASTE MANAGEMENT RULES. COMPOST SHALL HAVE A CARBON TO NITROGEN RATIO OF 25:1.

- SAMPLING SHALL BE PERFORMED IN AREAS SUBJECT TO THE SDQ STANDARD TO VERIFY THAT THE STANDARD HAS BEEN MET. SAMPLING SHALL BE PERFORMED AT A FREQUENCY OF NINE (9) TEST HOLE PER ACRE TO A DEPTH OF 8 INCHES. TEST HOLES ARE TO BE EXCAVATED BY THE INSPECTOR USING ONLY A SHOVEL. NO MECHANICAL EQUIPMENT SHOULD BE USED.

- A DENSE VEGETATED COVER SHOULD BE ESTABLISHED OVER THE SIMPLE DISCONNECTION RECEIVING AREA. THE USE OF SEED BLEND APPLICATION IS RECOMMENDED.

SEED AND SEEDING RATES MAY BE SELECTED FROM THE TABLE BELOW. THE SELECTION WILL BE BASED ON THE TIME OF YEAR THE SEEDING IS TO BE MADE AND THE LENGTH OF TIME THE VEGETATION IS TO AFFORD THE PROTECTION. THE SEED SHOULD BE SPREAD UNIFORMLY OVER THE AREA. THE SEED SHOULD BE COVERED LIGHTLY BY RAKING, DISKING, OR DRAGGING.

**PLANT SELECTION AND SEEDING RATES:**

SPECIES	PER ACRE	PER 1000 SF	REMARKS
WINTER RYE	2 BU. OR 120 LBS	2.5 LBS	BEST FOR FALL SEEDING. SEED FROM AUGUST 15 TO SEPTEMBER 15 FOR BEST COVER. SEED TO A DEPTH OF 1 INCH.
OATS	2.5 BU. OR 80 LBS	2 LBS	BEST FOR SPRING SEEDING. SEED NO LATER THAN MAY 15 FOR SUMMER PROTECTION. SEED TO DEPTH OF 1 INCH.
ANNUAL	40 LBS	1 LB	GROWS QUICKLY, BUT IS OF SHORT DURATION. USE RYGRASS WHERE APPEARANCES ARE IMPORTANT. SEED EARLY FALL BETWEEN AUGUST 15 AND SEPTEMBER 15. COVER SEED WITH NO MORE THAN 0.25 INCHES OF SOIL.
PERENNIAL	30 LBS	0.7 LBS	GOOD COVER WHICH IS LONGER LASTING THAN RYGRASS ANNUAL RYGRASS. SEED BETWEEN APRIL 1 AND JUNE 1 AND/OR BETWEEN AUGUST 15 AND SEPTEMBER 15. MULCHING WILL ALLOW SEEDING THROUGHOUT THE GROWING SEASON. SEED TO A DEPTH OF APPROXIMATELY 0.5 INCHES.

- SEE SUBCHAPTER 3.2 OF THE 2017 VERMONT STORMWATER MANAGEMENT MANUAL (2017 VSM) FOR OTHER APPROVED METHODS TO MEET THE POST-CONSTRUCTION SOIL DEPTH AND QUALITY TREATMENT STANDARD.

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**NOT FOR CONSTRUCTION PERMIT PLANS**

NO.	DATE	DESCRIPTION	BY	CHK'D

RIVERVIEW COMMONS  
 68 FIELD LANE  
 RICHMOND, VT 05477

**STORMWATER TREATMENT DESIGN FOR 3-ACRE PERMIT**

**SHEET TITLE**

**GENERAL NOTES**

DESIGNED BY	DATE
SLR	12/22/2025
CHECKED BY	DRAWN BY
CJR	128855
PROJECT NO.	DRAWING NO.
CJR	

**SHEET NUMBER**

**2**

**NOT FOR  
CONSTRUCTION  
PERMIT PLANS**

NO.	DATE	DESCRIPTION	BY	CK'D

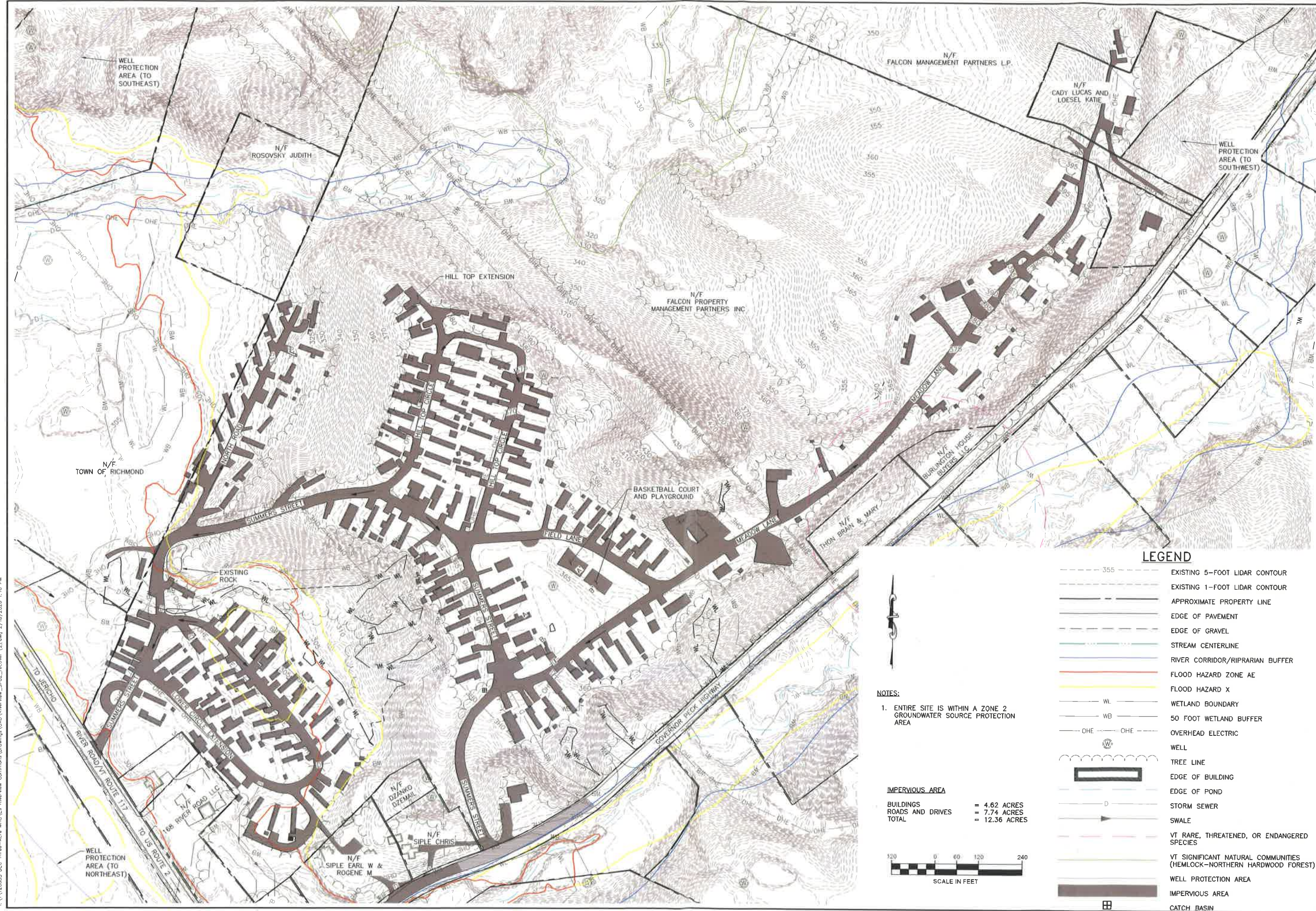
RIVERVIEW  
COMMONS  
68 FIELD LANE  
RICHMOND, VT 05477

STORMWATER  
TREATMENT DESIGN  
FOR 3-ACRE PERMIT

SHEET TITLE  
**EXISTING  
CONDITIONS**

DRAWN BY	DATE
LD/SLR	12/22/2025
CHECKED BY	DRAWN PROJECT #
CJR	128855
PROJ. ENG.	DRAWN ARCHIVE #
CJR	

SHEET NUMBER  
**3**  
SHEET 3 OF 13



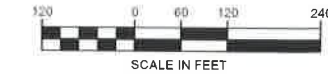
**LEGEND**

- 355 --- EXISTING 5-FOOT LIDAR CONTOUR
- --- EXISTING 1-FOOT LIDAR CONTOUR
- --- APPROXIMATE PROPERTY LINE
- --- EDGE OF PAVEMENT
- --- EDGE OF GRAVEL
- --- STREAM CENTERLINE
- --- RIVER CORRIDOR/RIPARIAN BUFFER
- --- FLOOD HAZARD ZONE AE
- --- FLOOD HAZARD X
- WL --- WETLAND BOUNDARY
- WB --- 50 FOOT WETLAND BUFFER
- OHE --- OHE --- OVERHEAD ELECTRIC
- WELL --- WELL
- --- TREE LINE
- --- EDGE OF BUILDING
- --- EDGE OF POND
- D --- STORM SEWER
- --- SWALE
- --- VT RARE, THREATENED, OR ENDANGERED SPECIES
- --- VT SIGNIFICANT NATURAL COMMUNITIES (HEMLOCK-NORTHERN HARDWOOD FOREST)
- --- WELL PROTECTION AREA
- --- IMPERVIOUS AREA
- --- CATCH BASIN

**NOTES:**

- ENTIRE SITE IS WITHIN A ZONE 2 GROUNDWATER SOURCE PROTECTION AREA

**IMPERVIOUS AREA**  
 BUILDINGS = 4.62 ACRES  
 ROADS AND DRIVES = 7.74 ACRES  
 TOTAL = 12.36 ACRES



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TREATMENT PRACTICE	IMPERVIOUS AREA (AC)	PERVIOUS AREA (AC)	TOTAL AREA (AC)	WQV (AC-FT)
GRAVEL WETLAND	3.355	9.749	13.104	0.306
FOCALPOINT 1	1.157	1.168	2.324	0.092
FOCALPOINT 2	0.476	0.546	1.022	0.043
TOTAL	6.629	20.260	26.888	0.441
REQUIRED				0.580

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COMMONS  
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STORMWATER  
TREATMENT DESIGN  
FOR 3-ACRE PERMIT

SHEET TITLE

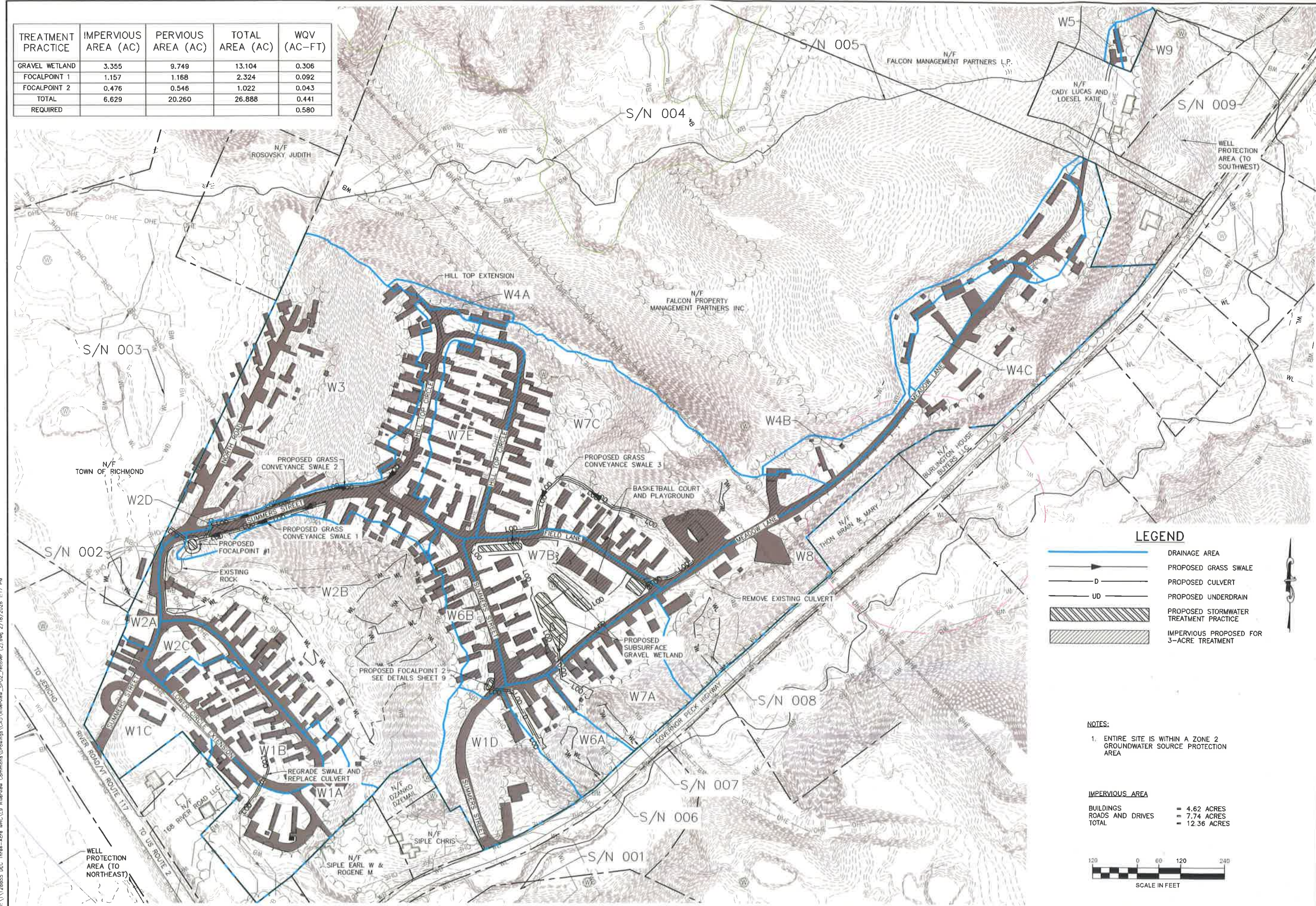
PROPOSED  
STORMWATER  
TREATMENT  
PLAN

DRAWN BY	DATE
LD/SLR	12/22/2025
CHK'D BY	CHK'D PROJECT #
CJR	128855
PROJ ENG	CHK'D ARCHITECTIVE #
CJR	

SHEET NUMBER

**4**

SHEET 4 OF 13

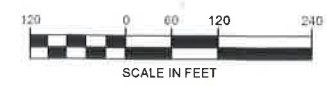


**LEGEND**

- DRAINAGE AREA
- PROPOSED GRASS SWALE
- PROPOSED CULVERT
- PROPOSED UNDERDRAIN
- PROPOSED STORMWATER TREATMENT PRACTICE
- IMPERVIOUS PROPOSED FOR 3-ACRE TREATMENT

**NOTES:**  
1. ENTIRE SITE IS WITHIN A ZONE 2 GROUNDWATER SOURCE PROTECTION AREA

**IMPERVIOUS AREA**  
BUILDINGS = 4.62 ACRES  
ROADS AND DRIVES = 7.74 ACRES  
TOTAL = 12.36 ACRES



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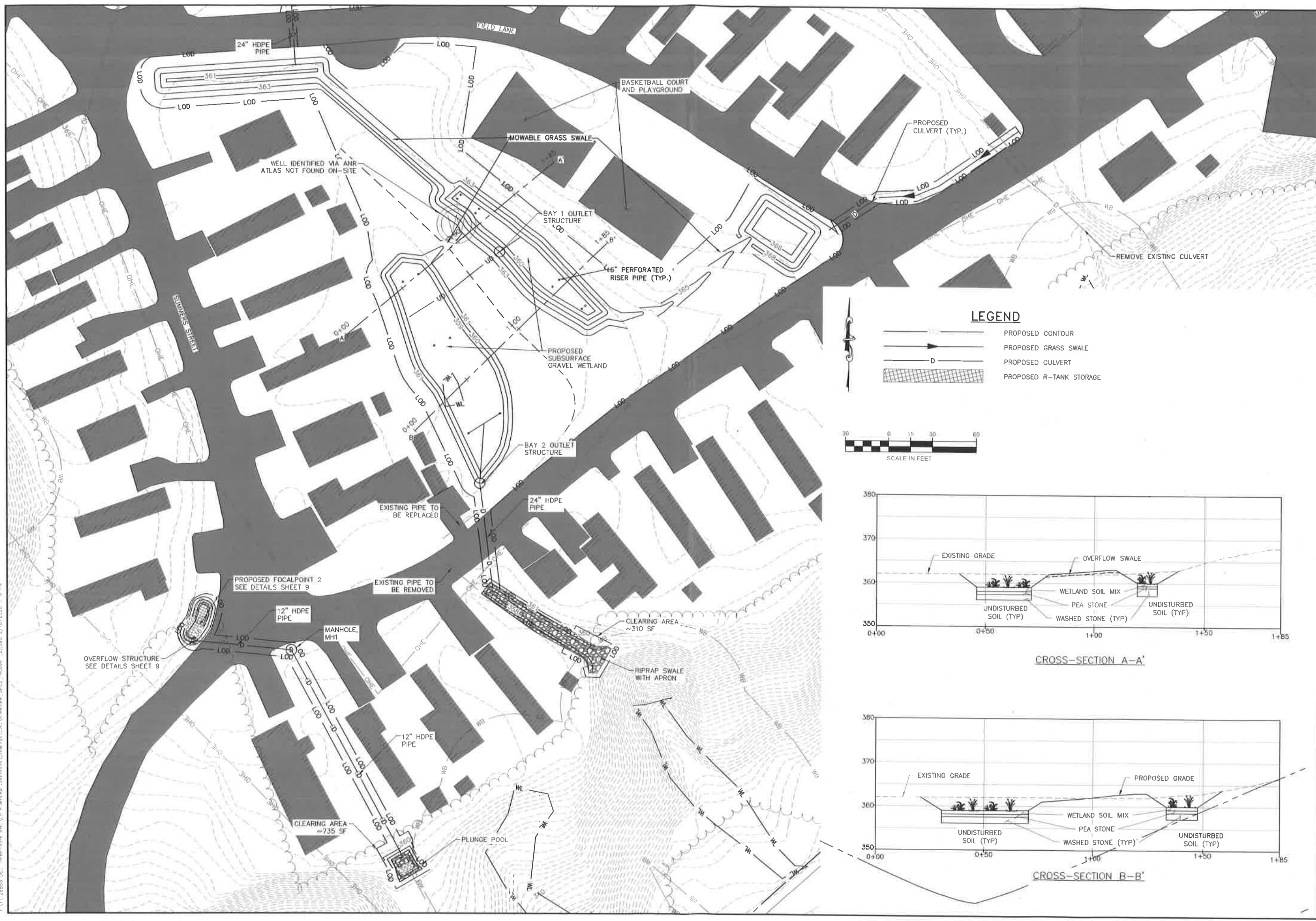
RIVERVIEW  
COMMONS  
68 FIELD LANE  
RICHMOND, VT 05477

STORMWATER  
TREATMENT DESIGN  
FOR 3-ACRE PERMIT

SHEET TITLE  
**CONSTRUCTION  
PLAN 2**

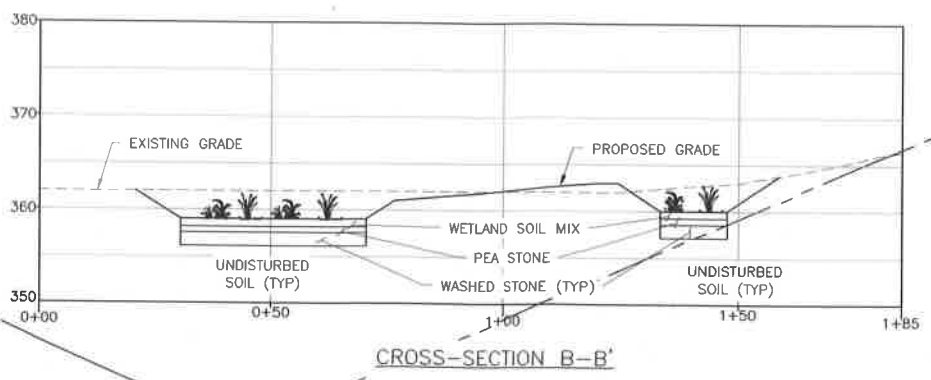
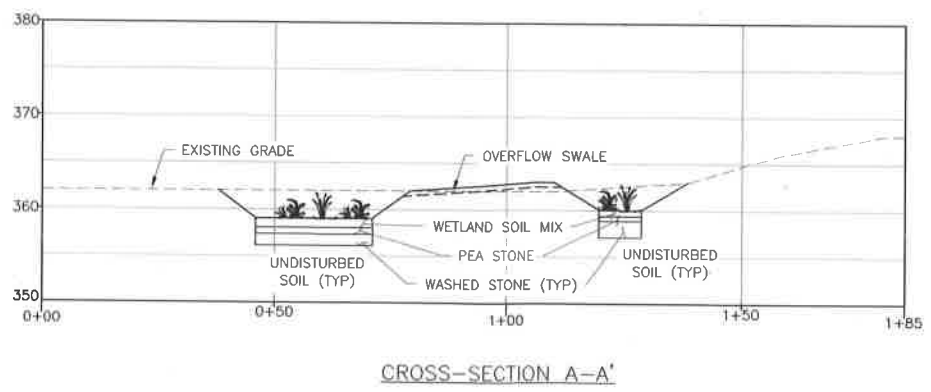
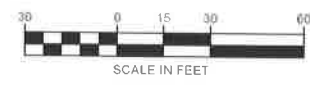
APPROVED BY	DATE
LD/SLR	12/22/2025
CHECKED BY	DATE PROJECT #
CJR	128855
PROJECT ENG.	DATE APPROVED
CJR	

SHEET NUMBER  
**6**  
SHEET 6 OF 13



**LEGEND**

- PROPOSED CONTOUR
- PROPOSED GRASS SWALE
- PROPOSED CULVERT
- PROPOSED R-TANK STORAGE



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NO.	DATE	DESCRIPTION	BY	CHKD

**RIVERVIEW  
COMMONS  
68 FIELD LANE  
RICHMOND, VT 05477**

**STORMWATER  
TREATMENT DESIGN  
FOR 3-ACRE PERMIT**

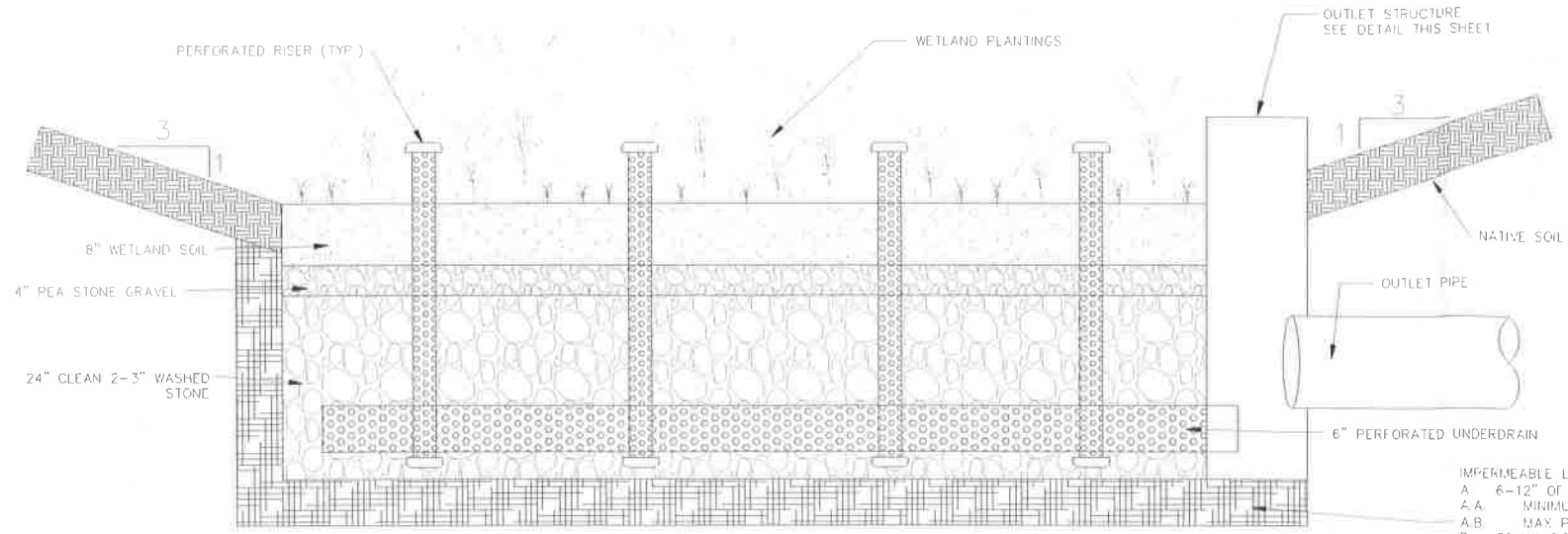
**SHEET TITLE**

**SUBSURFACE  
GRAVEL WETLAND  
DETAILS**

DESIGNED BY	DATE
LD/SLR	12/22/2025
CHECKED BY	D&K PROJECT #
CJR	128855
PROJ. ENG.	D&K ARCHITECT #
CJR	

**SHEET NUMBER**

**7**



**Typical Gravel Wetland Cell Detail**

NOT TO SCALE

- IMPERMEABLE LINER OPTIONS
- A 6-12" OF CLAY SOIL
  - A-A MINIMUM OF 15% PASSING THE #200 SIEVE
  - A-B MAY PERMEABILITY OF 1X10-5 CM/SEC
  - B 30 MIL POLY-LINER
  - C BENTONITE
  - D APPROVED EQUAL

SEED MIX FOR GRAVEL WETLAND AREA					
WEIGHT (%)	BROADCAST (LBS/ACRE)	NAME		GERM (%)	PURITY (%)
		COMMON	SCIENTIFIC		
25-35	8.75-12.25	VIRGINIA WILD RYE	(ELYMUS VIRGINICUS)	85	95
20-30	7-10.5	SWITCHGRASS	(PANICUM VIRGATUM)	85	95
20-30	7-10.5	RED FESCUE	(FESTUCA RUBRA)	85	95
8-12	2.8-4.2	FOWL BLUEGRASS	(POA PALUSTRIS)	85	95
1-5	0.35-1.75	BLUE VERVAIN	(VERBENA HASTATA)	85	95
0.5-2	0.175-0.7	SENSITIVE FERN	(ONOCLEA SENSIBILIS)	85	95
0.5-2	0.175-0.7	GREEN BULRUSH	(SCIRPUS ATROVIRENS)	85	95
0.5-2	0.175-0.7	WOOL GRASS	(SCIRPUS CYPERINUS)	85	95
0.5-2	0.175-0.7	DEVIL'S BEGGARTICK	(BIDENS FRONDOSA)	85	95
0.5-2	0.175-0.7	SPOTTED JOE-PYE WEED	(EUPATORIUM MACULATUS)	85	95
0.5-2	0.07-0.35	BONESET	(EUPATORIUM PERFOLIATUM)	85	95
0.5-2	0.07-0.35	SOFT RUSH	(JUNCUS EFFUSUS)	85	95
0.2-1	0.07-0.35	NEW ENGLAND ASTER	(SYMPHYOTRICHUM NOVA-ANGLIAE)	85	95

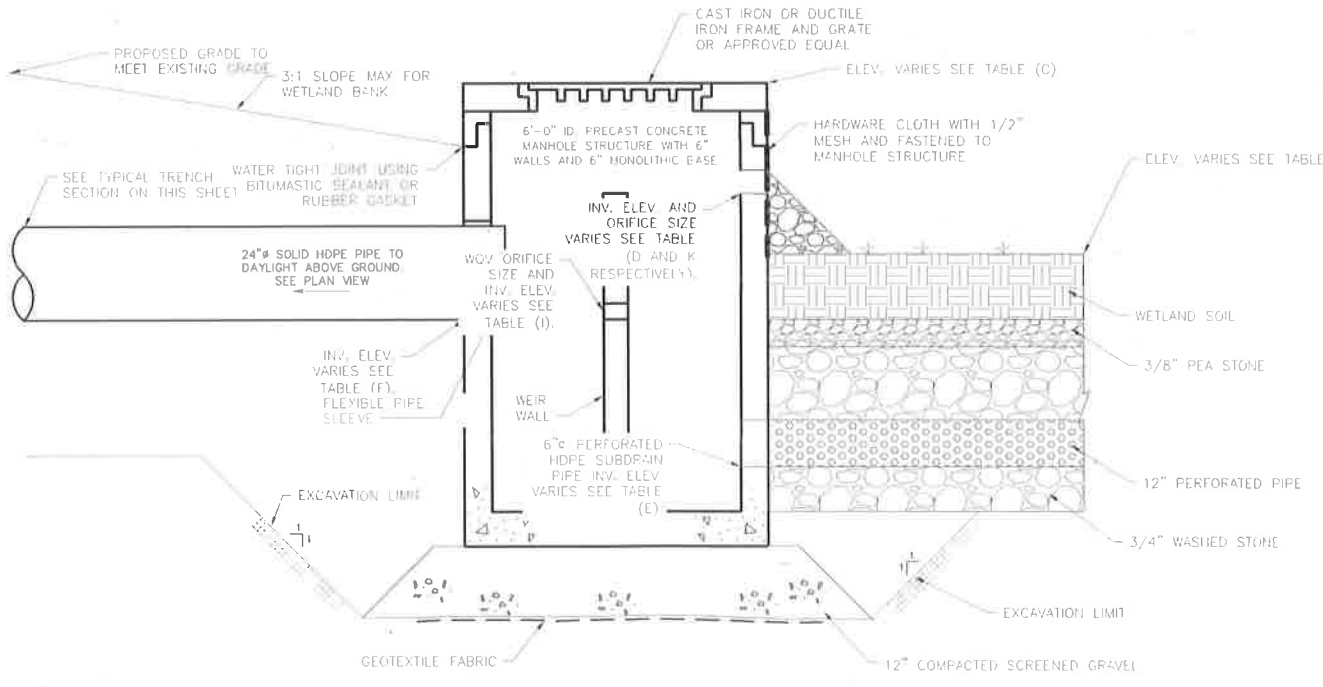
**GRAVEL WETLAND NOTES:**

- OUTLET PIPE SHALL BE ADS WT PIPE OR APPROVED EQUIVALENT; CONSTRUCTED WITH WATER TIGHT PIPE JOINTS, AND MECHANICALLY FASTENED WITH A MINIMUM OF THREE ANCHORS PER JOINT AS APPROVED BY ENGINEER
- GRAVEL WETLAND SOIL SHALL BE A MINIMUM OF 8 INCHES THICK AND CONSTRUCTED LEVEL WITH SURFACE SLOPE OF ZERO. SOILS SHALL MEET THE FOLLOWING SPECIFICATIONS:
  - LOW SATURATED HYDRAULIC CONDUCTIVITY (K<sub>sat</sub>) MEASURED BETWEEN 0.1 AND 0.01 FT/DAY OR SHALL BE HYDROLOGIC SOIL GROUP D
  - SOIL pH: 6.0 - 7.0
- GRAVEL WETLAND SOIL MUST HAVE A PHOSPHORUS SATURATION RATIO (PSR) LESS THAN OR EQUAL TO 0.10. PSR IS TO BE DETERMINED USING THE PROTOCOL OUTLINED IN THE BIORETENTION AND GRAVEL WETLAND SOIL MEDIA TESTING GUIDANCE DOCUMENT PREPARED BY THE UNIVERSITY OF VERMONT AND WATERSHED CONSULTING, LLC.
- UTILIZATION OF ON-SITE SOILS FOR THE GRAVEL WETLAND SOIL IS PREFERRED, PROVIDED THE SOIL CAN MEET THE SPECIFICATIONS NOTED ABOVE. ON-SITE SOILS CAN BE AMENDED WITH OFF-SITE MATERIALS, IF NEEDED.

**PHOSPHORUS TESTING NOTES:**

- P TESTING IS REQUIRED FOR GRAVEL WETLAND SOIL. WETLAND SOIL MIX MUST HAVE A PHOSPHORUS SATURATION RATIO (PSR) LESS THAN OR EQUAL TO 0.10. PSR IS TO BE DETERMINED USING THE PROTOCOL OUTLINED BELOW, AS DEFINED IN THE BIORETENTION AND GRAVEL WETLAND SOIL MEDIA TESTING GUIDANCE DOCUMENT PREPARED BY THE UNIVERSITY OF VERMONT AND WATERSHED CONSULTING, LLC. (SEE ADDITIONAL TESTING NOTES BELOW)

ELEVATIONS FOR GRAVEL WETLAND			
DETAIL ID	DESCRIPTION	BAY 1	BAY 2
	FOREBAY INV.	361' & 366'	---
A	GRAVEL WETLAND INV.	360.00'	359.00'
C	TOP OF OVERFLOW STRUCTURE ELEV.	362.50'	360.75'
D	CPV ORIFICE INV.	362'	---
E	SUBDRAIN PIPE INV.	357.17'	356.17'
F	24" HDPE OUTLET PIPE INV.	359.50'	358'
G	RISER PIPE ELEV.	360.75'	359.75'
H	WOV ORIFICE INV.	3" @ 359.66'	3" @ 358.66'
J	24" HDPE OUTLET SLOPE	0.01 FT/FT	0.007 FT/FT
K	CPV ORIFICE SIZE	3" H BY 12" W	---

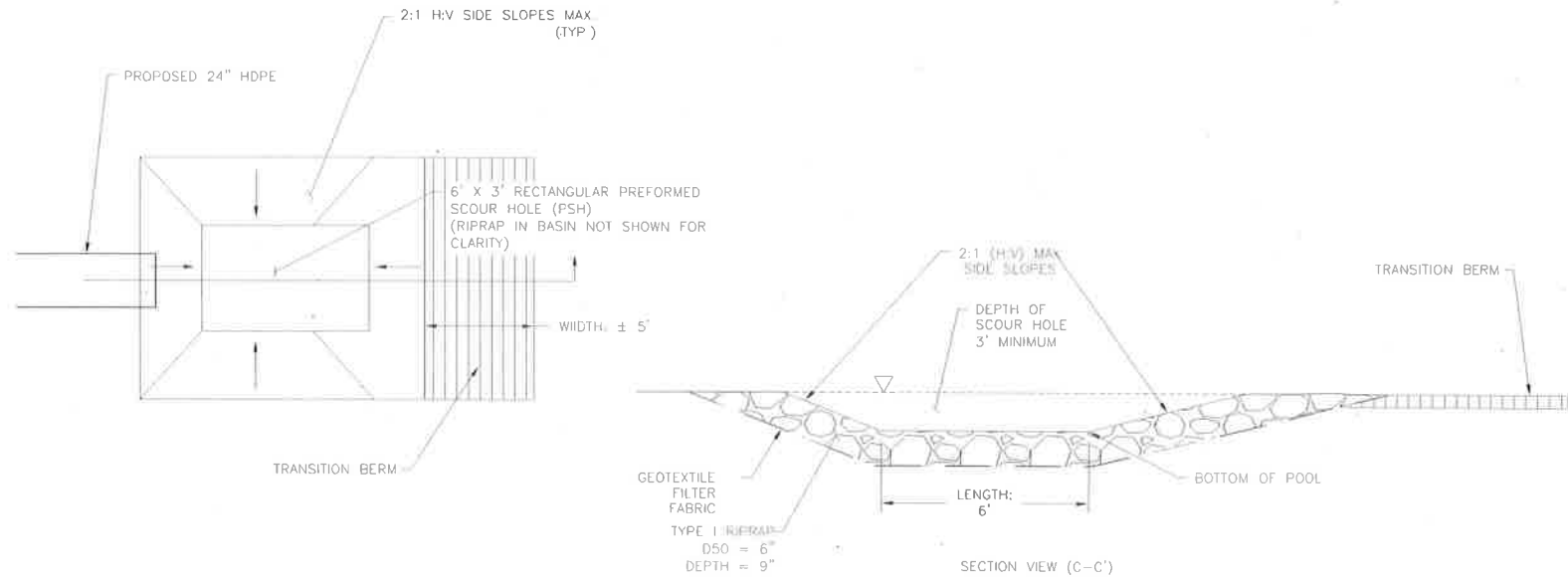


**OUTLET STRUCTURE DETAIL**

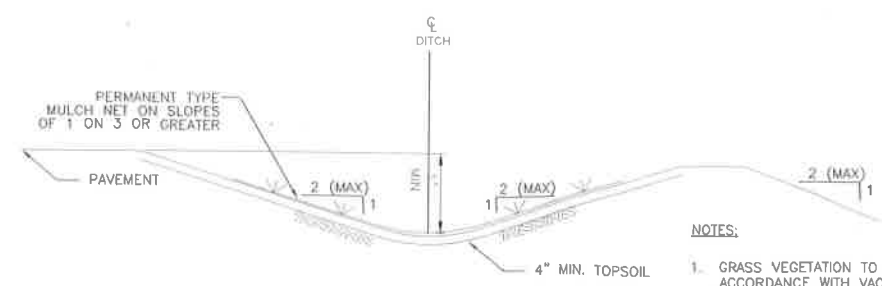
NOT TO SCALE

NOTE:  
OUTLET PIPE SHALL BE ADS WT PIPE OR APPROVED EQUIVALENT; CONSTRUCTED WITH WATER TIGHT PIPE JOINTS, AND MECHANICALLY FASTENED WITH A MINIMUM OF THREE ANCHORS PER JOINT AS APPROVED BY ENGINEER

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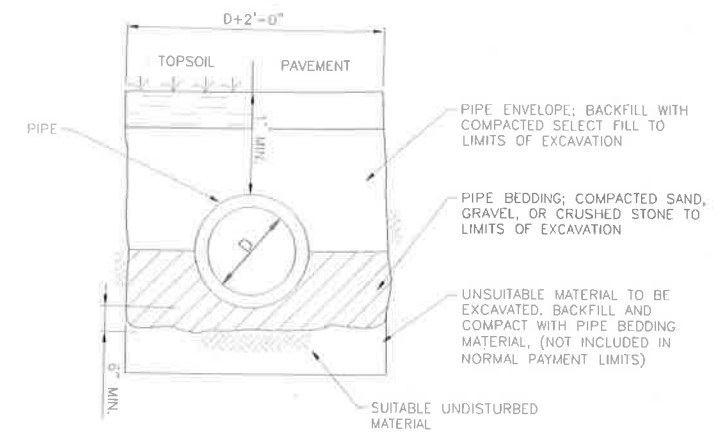


**PLUNGE POOL DETAILS**  
NOT TO SCALE

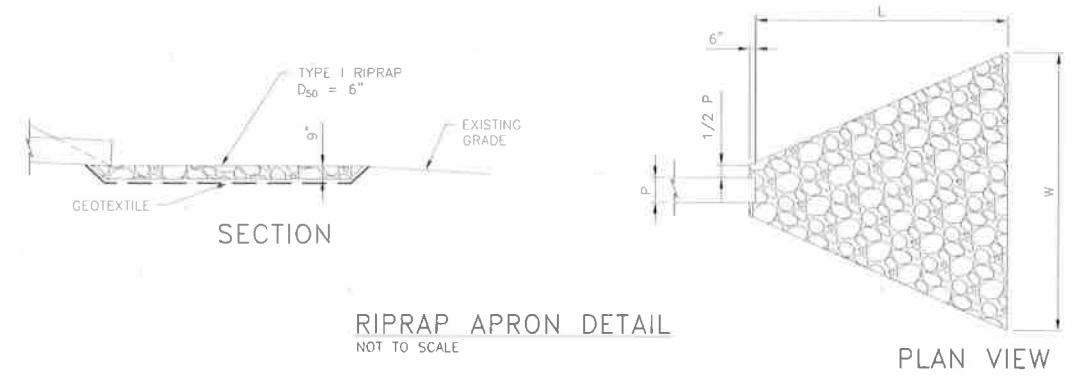


**TYPICAL GRASS LINED SWALE**  
NOT TO SCALE

**NOTES:**  
1. GRASS VEGETATION TO BE ESTABLISHED IN ACCORDANCE WITH VDOT EROSION AND SEDIMENT CONTROL TURF ESTABLISHMENT DETAIL.

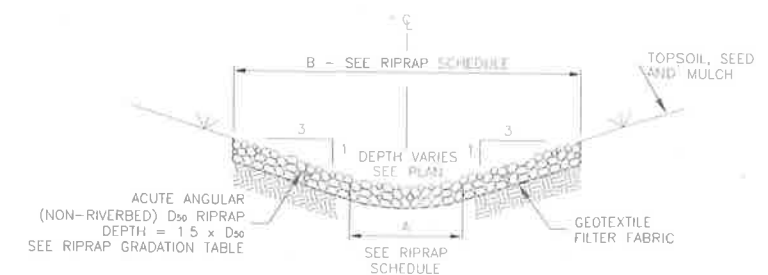


**TYPICAL TRENCH SECTION**  
NOT TO SCALE



**RIPRAP APRON DETAIL**  
NOT TO SCALE

**PLAN VIEW**



% OF WEIGHT SMALLER THAN GIVEN SIZE	RIPRAP GRADATION TABLE				
	FOR D <sub>50</sub> = 4"	FOR D <sub>50</sub> = 6"	FOR D <sub>50</sub> = 8"	FOR D <sub>50</sub> = 10"	FOR D <sub>50</sub> = 12"
100	6" TO 8"	9" TO 12"	12" TO 18"	15" TO 20"	18" TO 24"
85	5" TO 7"	8" TO 11"	10" TO 14"	13" TO 18"	16" TO 22"
50	4" TO 6"	6" TO 9"	8" TO 12"	10" TO 15"	12" TO 18"
15	1" TO 2"	2" TO 3"	2.5" TO 4"	3" TO 5"	4" TO 6"

RIPRAP SCHEDULE					
LOCATION	LENGTH (FT)	AVERAGE SLOPE (FT/FT)	A	B	D <sub>50</sub>
GRAVEL WETLAND OUTLET SWALE	90	0.01	2FT	10FT	6"

**RIPRAP SWALE DETAIL**  
NOT TO SCALE

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NO.	DATE	DESCRIPTION	BY	CK'D

**RIVERVIEW COMMONS**  
68 FIELD LANE  
RICHMOND, VT 05477

**STORMWATER TREATMENT DESIGN FOR 3-ACRE PERMIT**

**SHEET TITLE**  
**DETAILS (2)**

DRAWN BY	DATE
LD	12/22/2025
CHECKED BY	DATE
CJR	12/28/25
PROJECT NO.	ISSUE NO.
CJR	
SHEET NUMBER	

**8**

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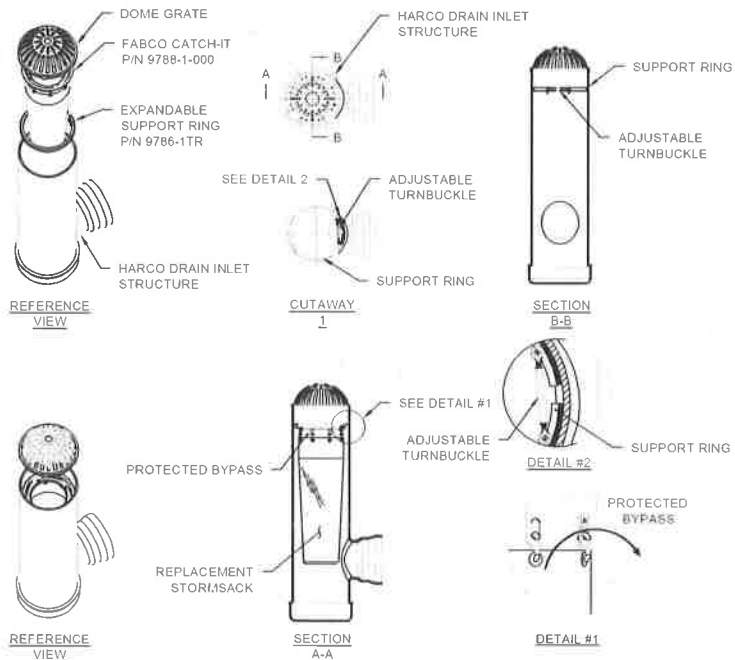
FOCALPOINT HP CONSTRUCTION GUIDE			
ID	DESCRIPTION	FOCALPOINT 1	FOCALPOINT 2
	R-TANK TYPE	HD SINGLE	HD SINGLE
A	FOCALPOINT BED AREA (SF)	302	142
B	NUMBER OF R-TANKS (#)	275	104
C	WATER QUALITY VOLUME (CY)	0.062	0.038
D	OVERFLOW TYPE	12" O HDPE	12" O HDPE
E	OVERFLOW ELEVATION (FT)	310.50	361.45
F	OUTLET FLOWLINE ELEVATION (FT)	306.31	357.31
G	TOP OF MULCH ELEVATION (FT)	310.00	361.00
H	TOP OF BRIDGING STONE	308.25	359.25
I	R-TANK INV. ELEVATION (FT)	306.31	357.31
J	STRUCTURAL UNDERDRAIN HEIGHT (FT)	1.44	1.44

**FOCALPOINT HP PERFORMANCE SPECIFICATION:**

**HIGH PERFORMANCE MEDIA**  
HIGH PERFORMANCE MEDIA MUST MEET A MINIMUM OF 100" PER HOUR INFILTRATION RATE.

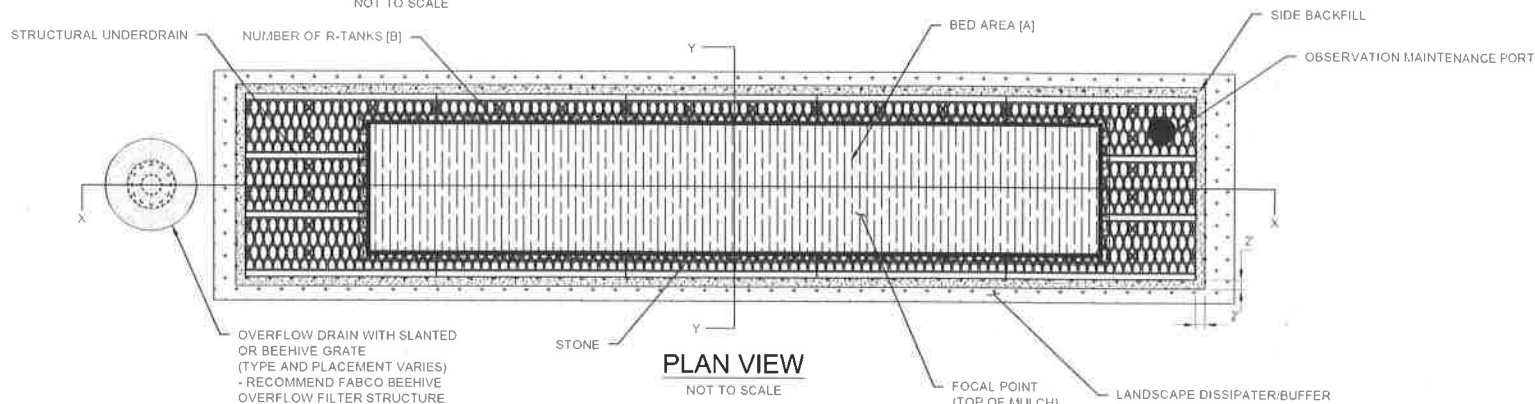
**HIGH PERFORMANCE STRUCTURAL UNDERDRAIN**  
MUST HAVE A MINIMUM OF 10 SQUARE INCHES OF OPENING PER SQUARE FOOT AND MUST MEET THE FOLLOWING REQUIREMENTS:  
MUST BE MODULAR IN NATURE AND ASSEMBLED ON SITE.  
MUST HAVE MINIMUM 50% INTERIOR VOID SPACE.

**PLANT COMPONENT**  
SHIPPER SHALL PROVIDE LIST OF ACCEPTABLE PLANTS.  
IF PLANTS ARE NOT INCLUDED IN THE LANDSCAPE CONTRACTORS SITE CONTRACTOR SHALL PROVIDE PLANTS.  
PLANTS SHALL BE INSTALLED AT THE TIME THE SYSTEM IS COMMISSIONED FOR USE. PLANTING OUTSIDE THIS TIME  
REQUIRES APPROVAL BY THE ENGINEER/LANDSCAPE ARCHITECT OF RECORD.  
SEE FOCALPOINT INSTALLATION GUIDE FOR PLANT SPECIES, PLANTING PROCEDURES, ETC.



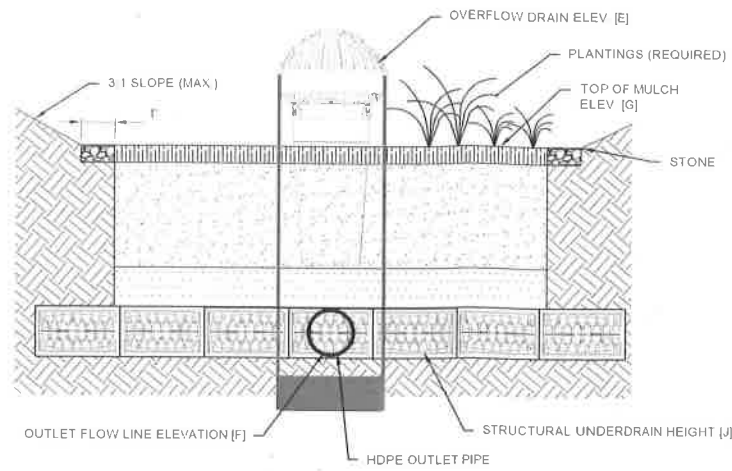
**FOCALPOINT CONTROL STRUCTURE DETAILS**

NOT TO SCALE



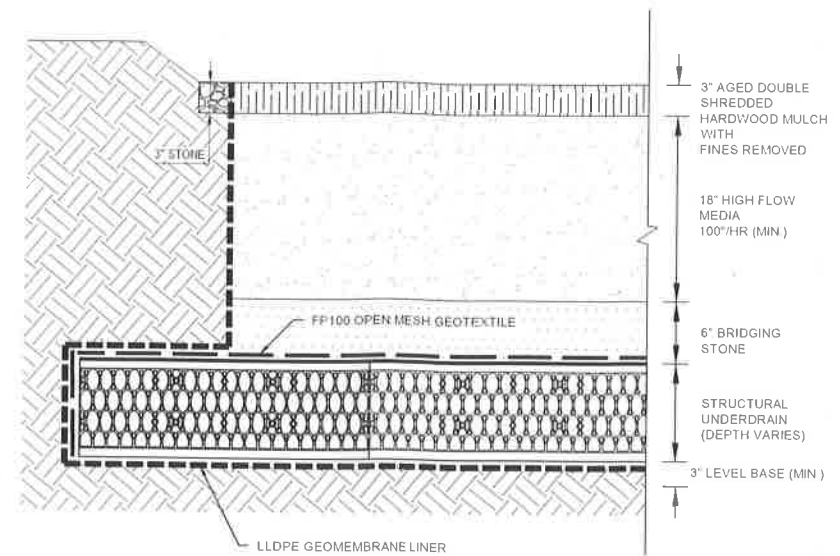
**FOCALPOINT OBSERVATION/MAINTENANCE PORT**

NOT TO SCALE



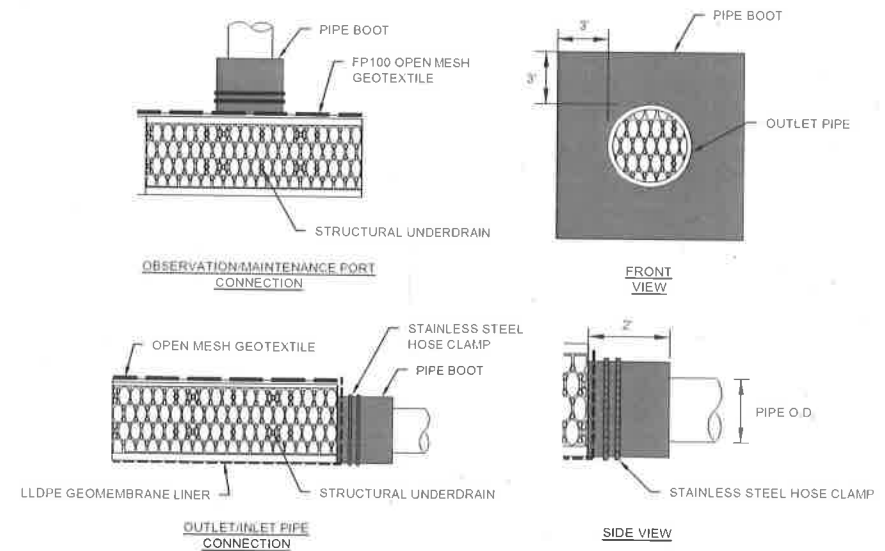
**SECTION Y-Y**

NOT TO SCALE



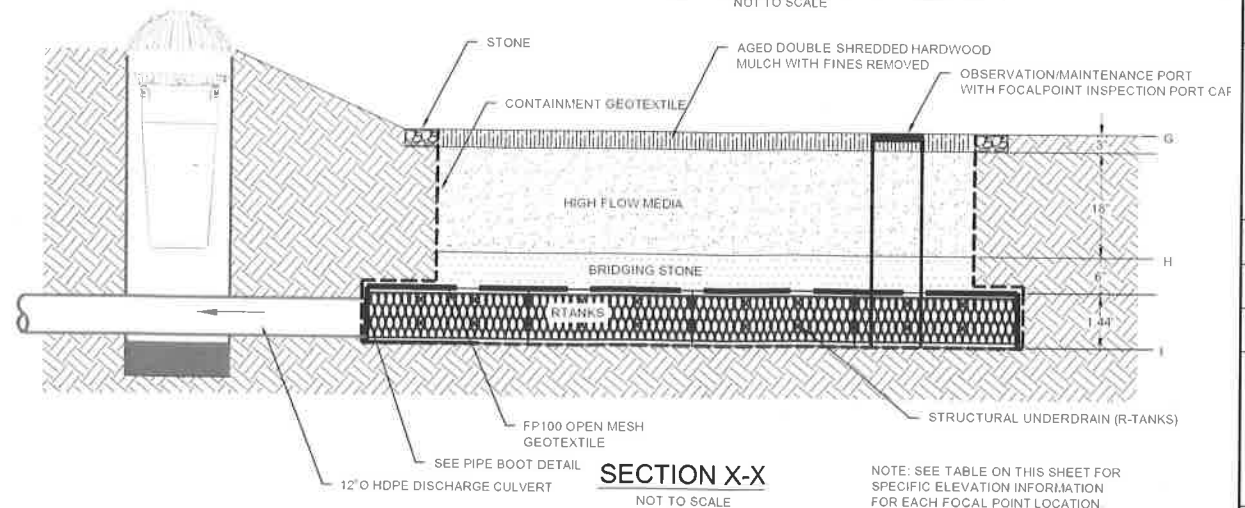
**FOCALPOINT DETAILED CROSS SECTION**

NOT TO SCALE



**FOCALPOINT PIPE CONNECTIONS**

NOT TO SCALE



**SECTION X-X**

NOT TO SCALE

NOTE: SEE TABLE ON THIS SHEET FOR SPECIFIC ELEVATION INFORMATION FOR EACH FOCAL POINT LOCATION.

**NOT FOR  
CONSTRUCTION  
PERMIT PLANS**

NO.	DATE	DESCRIPTION	BY	CHK'D

RIVERVIEW  
COMMONS  
68 FIELD LANE  
RICHMOND, VT 05477

STORMWATER  
TREATMENT DESIGN  
FOR 3-ACRE PERMIT

SHEET TITLE

FOCAL POINT  
DETAILS

DRAWN BY	DATE
LD	12/22/2025
CHECKED BY	DATE PROJECTED
CJR	128655
PROJECT ENG.	DATE ARCHITECT
CJR	

SHEET NUMBER

**9**



**NOT FOR  
CONSTRUCTION  
PERMIT PLANS**

NO.	DATE	DESCRIPTION	BY	CK'D

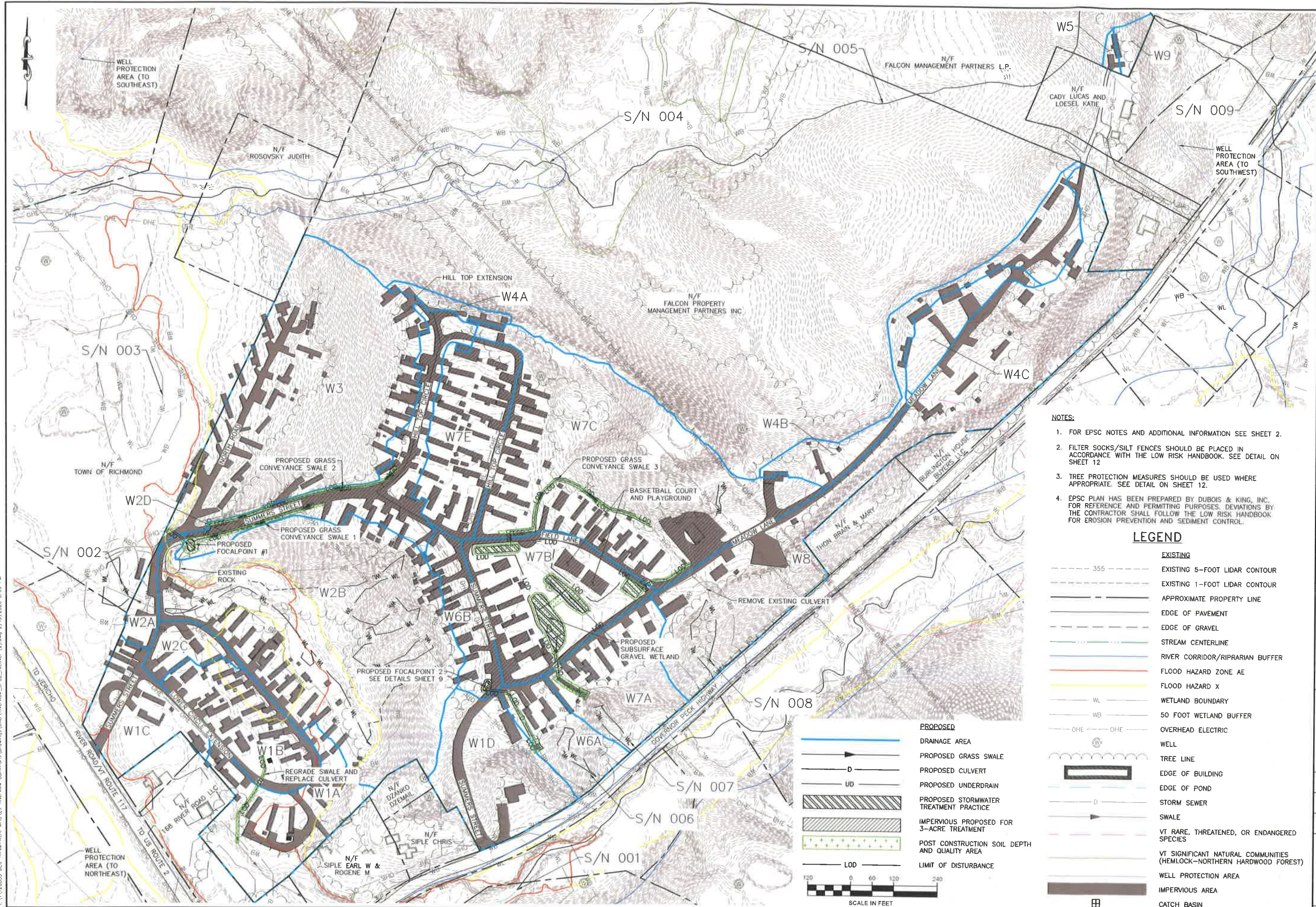
RIVERVIEW  
COMMONS  
68 FIELD LANE  
RICHMOND, VT 05477

STORMWATER  
TREATMENT DESIGN  
FOR 3-ACRE PERMIT

SHEET TITLE  
EROSION  
PROTECTION  
AND  
SEDIMENT  
CONTROL  
PLAN

DRAWN BY	DATE
LD/SLR	12/22/2025
CHECKED BY	DATE
CJR	128855
PROJECT ENG	DATE
CJR	

SHEET NUMBER  
**11**  
SHEET 11 OF 13

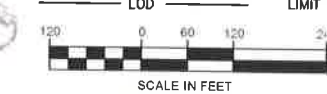


- NOTES:**
1. FOR EPSC NOTES AND ADDITIONAL INFORMATION SEE SHEET 2.
  2. FILTER SOCKS/SILT FENCES SHOULD BE PLACED IN ACCORDANCE WITH THE LOW RISK HANDBOOK. SEE DETAIL ON SHEET 12
  3. TREE PROTECTION MEASURES SHOULD BE USED WHERE APPROPRIATE. SEE DETAIL ON SHEET 12.
  4. EPSC PLAN HAS BEEN PREPARED BY DUBOIS & KING, INC. FOR REFERENCE AND PERMITTING PURPOSES. DEVIATIONS BY THE CONTRACTOR SHALL FOLLOW THE LOW RISK HANDBOOK FOR EROSION PREVENTION AND SEDIMENT CONTROL.

**LEGEND**

- EXISTING**
- 355 --- EXISTING 5-FOOT LIDAR CONTOUR
  - --- EXISTING 1-FOOT LIDAR CONTOUR
  - - - - - APPROXIMATE PROPERTY LINE
  - — — — — EDGE OF PAVEMENT
  - - - - - EDGE OF GRAVEL
  - — — — — STREAM CENTERLINE
  - — — — — RIVER CORRIDOR/RIPARIAN BUFFER
  - — — — — FLOOD HAZARD ZONE AE
  - — — — — FLOOD HAZARD X
  - — — — — WETLAND BOUNDARY
  - — — — — 50 FOOT WETLAND BUFFER
  - — — — — OVERHEAD ELECTRIC
  - ⊙ WELL
  - — — — — TREE LINE
  - ▭ EDGE OF BUILDING
  - — — — — EDGE OF POND
  - — — — — STORM SEWER
  - — — — — SWALE
  - — — — — VT RARE, THREATENED, OR ENDANGERED SPECIES
  - — — — — VT SIGNIFICANT NATURAL COMMUNITIES (HEMLOCK-NORTHERN HARDWOOD FOREST)
  - — — — — WELL PROTECTION AREA
  - — — — — IMPERVIOUS AREA
  - ▭ CATCH BASIN

- PROPOSED**
- — — — — DRAINAGE AREA
  - — — — — PROPOSED GRASS SWALE
  - — — — — PROPOSED CULVERT
  - — — — — PROPOSED UNDERDRAIN
  - ▨ PROPOSED STORMWATER TREATMENT PRACTICE
  - ▨ IMPERVIOUS PROPOSED FOR 3-ACRE TREATMENT
  - — — — — POST CONSTRUCTION SOIL DEPTH AND QUALITY AREA
  - — — — — LIMIT OF DISTURBANCE



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**APPLICATION NOTES:**

1. THE PURPOSE OF MATTING ON SIDE SLOPES IS TO REDUCE EROSION AND AID THE ESTABLISHMENT OF VEGETATION.
2. EROSION CONTROL MATTING SHALL BE USED FOR THE FOLLOWING REASONS:
  - SIDE SLOPES > 3:1 (H:V)
  - AREAS WHERE SEED AND MULCH WILL NOT STAY IN PLACE ALONE
  - WHERE SEEDING IS OUTSIDE THE GROWING SEASON.

**GENERAL NOTES:**

1. GRADE AND SMOOTH THE SLOPE TO PROVIDE GOOD MATTING TO SOIL SURFACE CONTACT.
2. APPLY FERTILIZER, LIME, AND SEED PRIOR TO PLACING MATTING.
3. ANCHOR MATTING AS SHOWN, UTILIZING ANCHOR STAPLES. STAPLE PLACEMENT SHALL BE DETERMINED BY THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
4. UNROLL MATTING VERTICALLY DOWN SLOPE IN THE DIRECTION OF WATER FLOW.
5. OVERLAP UPPER MATTING OVER LOWER MATTING AS SHOWN.
6. OVERLAP ADJACENT MATTING AS SHOWN.
7. CUT EXCESS MATTING AT END OF SLOPE AND ANCHOR THE END.
8. EROSION CONTROL MATTING SHALL BE 100% BIODEGRADABLE.
9. MEASURES SHALL BE INSPECTED EVERY SEVEN (7) CALENDAR DAYS MINIMUM AND WITHIN 24 HOURS OF A STORM EVENT GREAT ENOUGH TO CAUSE WATER TO LEAVE THE CONSTRUCTION SITE.
10. MATTING SHALL BE REPAIRED AND RESTAPLED AS NECESSARY TO ENSURE PROPER FUNCTION.
11. THE CONTRACTOR IS RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH THE INSTALLATION, INSPECTION AND MAINTENANCE OF ALL EROSION PREVENTION AND SEDIMENT CONTROL MEASURES.

**WINTER CONSTRUCTION:**

SITE CONSTRUCTION MAY CONTINUE THROUGH THE WINTER MONTHS ON THIS PROJECT. IT IS IMPERATIVE THAT ALL EROSION PREVENTION AND SEDIMENT CONTROL MEASURES BE IN PLACE AND FUNCTIONING TO ENSURE THEIR EFFECTIVENESS THROUGH THE WINTER AND SPRING SEASON. WINTER IN VERMONT CAN DIMINISH THE EFFECTIVENESS OF CONTROLS AND PREDISPOSE A SITE TO SEVERE EROSION AND SEDIMENTATION. DISTURBED AND BARE SOIL THAT IS WELL-FROZEN IS QUITE RESISTANT TO EROSION. HOWEVER, SEVERE EROSION OCCURS DURING THE MIDWINTER AND SPRING THAWS WHEN MELTING SNOW, THAWING SOILS AND HEAVY RAINS PRODUCE INTENSE RUNOFF OVER SATURATED UNSTABLE SOILS. FOR THESE REASONS, SOIL DISTURBANCES SHALL BE STABILIZED BY PRIOR TO THE START OF THE WINTER CONSTRUCTION SEASON (OCTOBER, 15TH). ALL EARTHWORK CONTINUING DURING THE WINTER CONSTRUCTION SEASON SHALL BE STABILIZED IN ACCORDANCE WITH THE STATE OF VERMONT EROSION PREVENTION AND SEDIMENT CONTROL REQUIREMENTS FOR WINTER CONSTRUCTION.

**INSPECTION AND MAINTENANCE:**

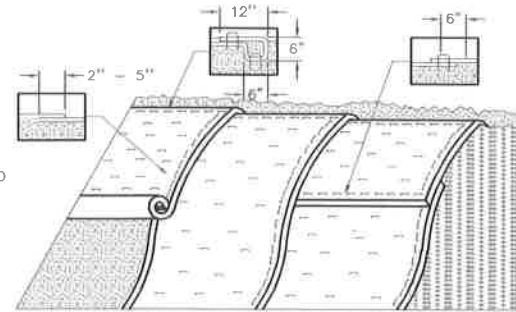
INSPECT EROSION PREVENTION AND SEDIMENT CONTROL MEASURES MORE FREQUENTLY IN THE WINTER AND SPRING THAN IN THE SUMMER. PAY CAREFUL ATTENTION TO WEATHER PREDICTIONS. WATCH FOR PREDICTED THAWS OR HEAVY RAINS. BEFORE SUCH EVENTS, CHECK ALL CONTROL MEASURES TO BE SURE THAT STRUCTURES WILL MANAGE THE POTENTIALLY HEAVY AND INTENSE RUNOFF AND SEDIMENT. PRACTICALLY CONSTANT MAINTENANCE OF CRITICAL CONTROL MEASURES MAY BE NECESSARY DURING THE WINTER AND EARLY SPRING TO PREVENT FAILURE OR OVERLOADING OF CONTROL MEASURES. BE PREPARED TO QUICKLY INSTALL A SECOND LINE OF DEFENSE IF PROBLEMS OCCUR. BE PREPARED TO DEVOTE A SUBSTANTIAL AMOUNT OF TIME, EQUIPMENT AND MANPOWER TO EROSION PREVENTION AND SEDIMENT CONTROL.

**FOLLOW-UP:**

AS EARLY AS IS PRACTICAL, AT THE BEGINNING OF THE NEXT GROWING SEASON, INSTALL PERMANENT VEGETATIVE CONTROLS AS SPECIFIED IN THIS EPSC PLAN.

**DEWATERING PROCEDURE:**

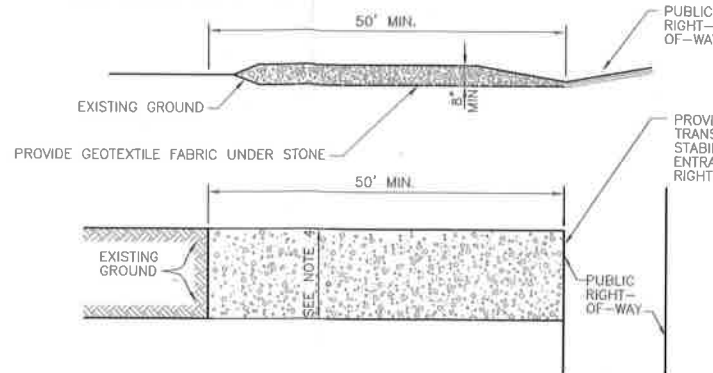
DEWATERING WILL BE ACCOMPLISHED BY PLACEMENT OF CRUSHED STONE FILLED SUMPS IN LOW AREAS OF THE EXCAVATION. WATER WILL BE PUMPED FROM THESE SUMPS THROUGH A SEDIMENTATION DEVICE AND DISCHARGE INTO THE SUBSURFACE STORMWATER SYSTEM. THE DETAILS OF DEWATERING, INCLUDING THE NUMBER AND LOCATION OF SUMPS; THE TYPE, NUMBER AND LOCATION OF THE SEDIMENTATION DEVICE(S) AND THE ASSOCIATED DISCHARGE POINTS AND OPERATING PROCEDURES WILL DEPEND ON THE CONDITIONS ENCOUNTERED DURING CONSTRUCTION, AS WELL AS THE SEASONAL WEATHER CONDITIONS. A PLAN WHICH DETAILS THE DEWATERING SYSTEM AND PROCEDURES WILL BE PROVIDED FOR REVIEW AND APPROVAL BY THE ON-SITE COORDINATOR PRIOR TO ITS IMPLEMENTATION.



EROSION PREVENTION FOR SIDE SLOPES NOT TO SCALE

**NOTES:**

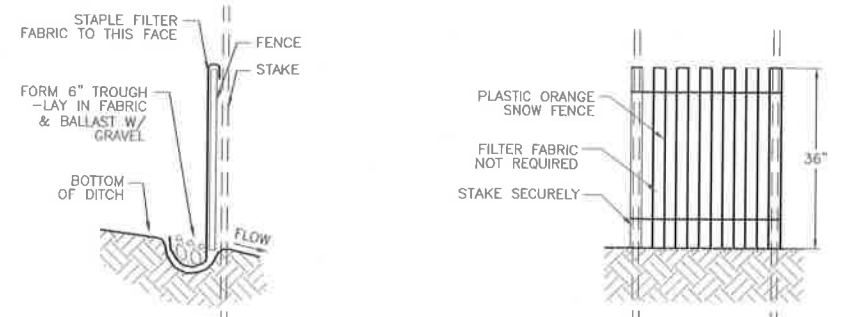
1. FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
2. CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
3. STAKE MATERIALS WILL BE STANDARD 2"x4" WOOD OR EQUIVALENT, METAL WITH A MINIMUM LENGTH OF 3 FEET.
4. SPACE STAKES EVENLY AROUND THE INLET 3 FEET APART AND DRIVE A MINIMUM OF 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
5. FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
6. A 2"x4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.
7. MAXIMUM DRAINAGE AREA 1 ACRES



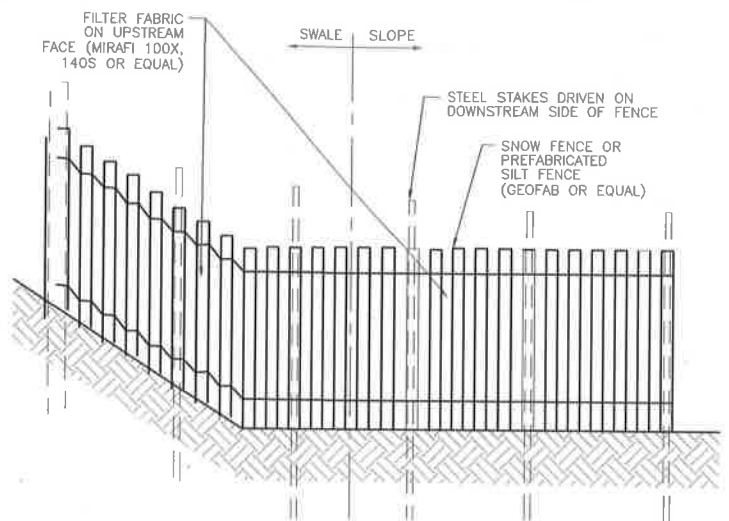
STABILIZED CONSTRUCTION ENTRANCE NOT TO SCALE

**CONSTRUCTION SPECIFICATIONS:**

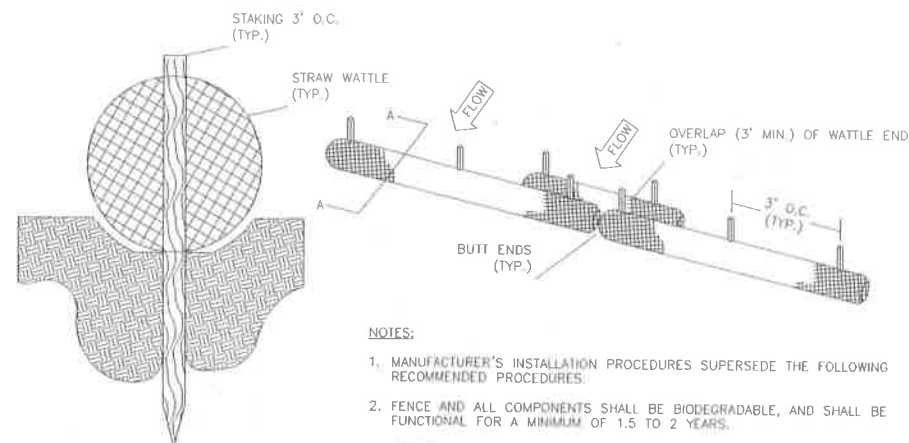
1. LOCATION TO BE DETERMINED BY CONTRACTOR AND APPROVED BY ENGINEER. IF CONTRACTOR DOES NOT WANT TO INSTALL A CONSTRUCTION ENTRANCE, CONTRACTOR SHALL OBTAIN PERMISSION FROM THE ENGINEER. MATERIALS ASSOCIATED WITH INSTALLATION SHALL BE REMOVED FROM PAY ITEM.
2. STONE SIZE SHALL BE 3 TO 4 INCHES.
3. LENGTH SHALL NOT BE LESS THAN 50 FEET.
4. THICKNESS SHALL NOT BE LESS THAN 8 INCHES.
5. WIDTH SHALL NOT BE LESS THAN 10' WIDER THAN THE LARGEST VEHICLE ENTERING OR EXITING THE SITE.
6. WASHING. WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE, WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE THROUGH USE OF SAND BAGS, GRAVEL, BOARDS, OR OTHER APPROVED METHODS.
7. MAINTENANCE. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.



SILT FENCE SECTION NOT TO SCALE



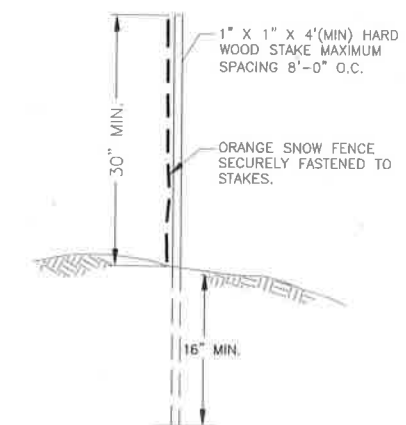
SILT FENCE SECTION NOT TO SCALE



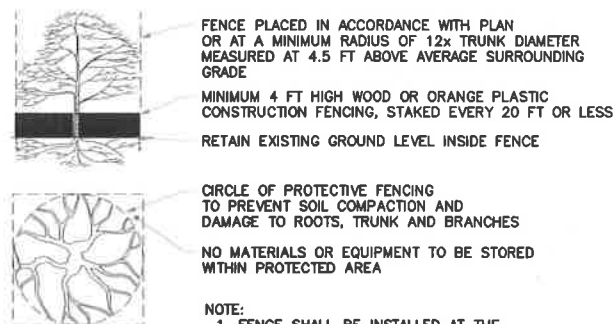
**MAINTENANCE:**

1. STRAW WATTLES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL EVENTS. ALL REPAIRS, INCLUDING EVIDENCE OF FABRIC DECOMPOSITION OR INEFFECTIVENESS DURING THE EXPECTED LIFE OF THE WATTLE, SHALL BE MADE IMMEDIATELY.
2. SEDIMENT DEPOSITS LOCATED ALONG THE UPHILL SIDE SHALL BE REMOVED AFTER EACH STORM EVENT OR WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE UPHILL ORIGINAL INSTALLED BARRIER'S REVEAL. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPSLOPE ARE PERMANENTLY STABILIZED.
3. SEDIMENT DEPOSITS THAT ARE REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

SILT SOCK/STRAW WATTLE DETAIL NOT TO SCALE



PROJECT DEMARCATION FENCE NOT TO SCALE



TREE PROTECTION DETAIL (SINGLE TREE) NOT TO SCALE

**TREE PROTECTION ZONE**  
NO STORAGE OR ACCESS  
DO NOT REMOVE FENCE

**NOT FOR CONSTRUCTION PERMIT PLANS**

NO.	DATE	DESCRIPTION	BY

**RIVERVIEW COMMONS**  
68 FIELD LANE  
RICHMOND, VT 05477

**STORMWATER TREATMENT DESIGN FOR 3-ACRE PERMIT**

**SHEET TITLE**  
EROSION CONTROL DETAILS

DESIGNED BY	DATE
SMB/CJR	12/22/2025
CHECKED BY	DATE/PROJECT #
CJR	128855
PROJECT ENGR.	DATE/ARCHITECT
CJR	

**SHEET NUMBER**  
**12**  
SHEET 12 OF 13

**NOT FOR  
 CONSTRUCTION  
 PERMIT PLANS**

NO.	DATE	DESCRIPTION	BY	CKD
1	02/04/2025	SHEET ADDED TO SET		

RIVERVIEW  
 COMMONS  
 68 FIELD LANE  
 RICHMOND, VT 05477

STORMWATER  
 TREATMENT DESIGN  
 FOR 3-ACRE PERMIT

SHEET TITLE  
 WETLAND  
 DISTURBANCE  
 PLAN

DRAWN BY	DATE
LD/SLR	12/22/2025
CHECKED BY	DRAWN PROJECT #
CJR	128855
PROJ ENG	DRAWN ARCHIVE #
CJR	

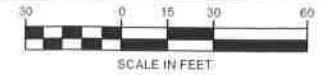
SHEET NUMBER  
**13**  
 SHEET 13 OF 13



**LEGEND**

- DRAINAGE AREA
- PROPOSED GRASS SWALE
- PROPOSED CULVERT
- PROPOSED UNDERDRAIN
- PROPOSED STORMWATER TREATMENT PRACTICE
- IMPERVIOUS PROPOSED FOR 3-ACRE TREATMENT
- PERMANENT BUFFER IMPACT
- TEMPORARY BUFFER IMPACT

WETLAND IMPACT	
PERMANENT WETLAND IMPACT	0 SF
PERMANENT BUFFER IMPACT	262 SF
<b>TOTAL PERMANENT IMPACT</b>	<b>262 SF</b>
TEMPORARY WETLAND IMPACT	0 SF
TEMPORARY BUFFER IMPACT	238 SF
<b>TOTAL TEMPORARY IMPACT</b>	<b>238 SF</b>
<b>TOTAL WETLAND &amp; BUFFER IMPACT</b>	<b>500 SF</b>



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