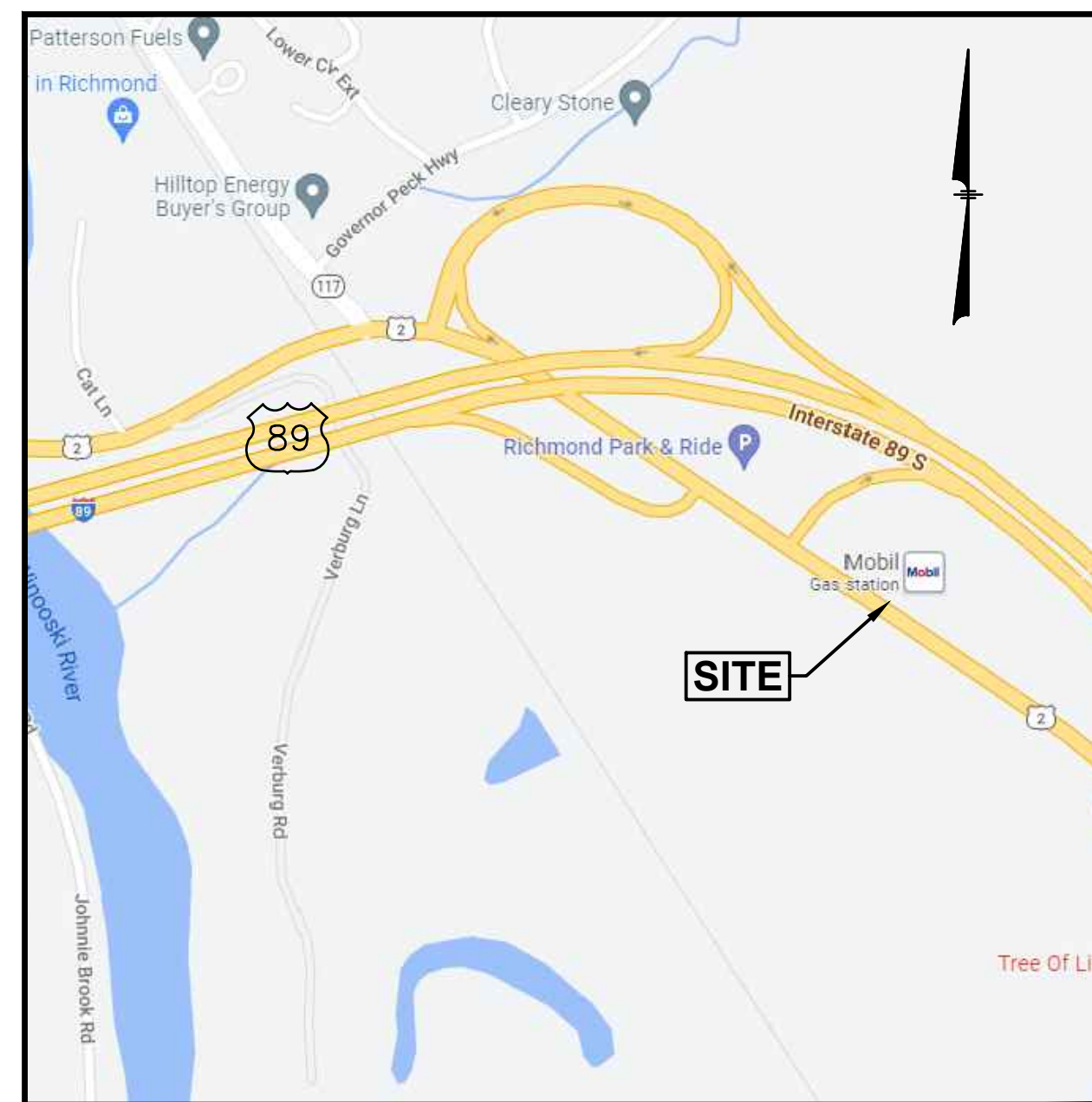


**PROPOSED REDEVELOPMENT
ASSESSORS MAP 3 LOT WM1436
1436 WEST MAIN STREET
RICHMOND, VERMONT**

PROPOSED RETAIL MOTOR FUEL OUTLET SITE RE-DEVELOPMENT PLANS

for
**MAP 3 LOT WM1436
1436 WEST MAIN STREET
RICHMOND, VERMONT**

Prepared for:
**SUMMIT DISTRIBUTING, LLC
240 MECHANIC STREET
LEBANON, NH 03766**



LOCATION MAP
(NOT TO SCALE)

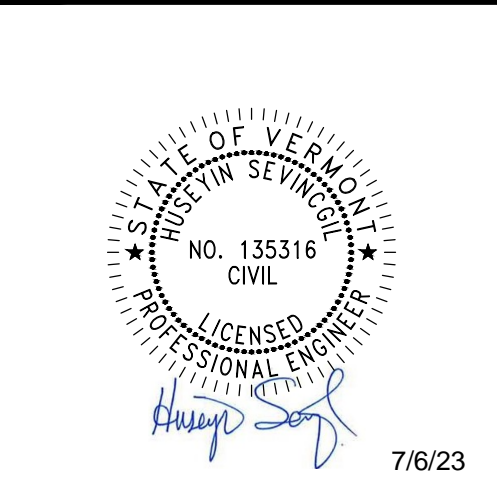


INDEX TO DRAWINGS

1. TITLE SHEET
2. EXISTING CONDITIONS PLAN
3. DEMOLITION PLAN
4. SITE PLAN
5. GRADING & DRAINAGE PLAN
6. UTILITY PLAN
7. EROSION & SEDIMENT CONTROL PLAN
8. LANDSCAPE PLAN
9. DETAIL SHEET
10. DETAIL SHEET
11. DETAIL SHEET
12. DETAIL SHEET
- 1 OF 1. TRUCK TURN PLAN (TT)
- 1 OF 2. LIGHTING PLAN (RL-6676-S1)
- 2 OF 2. LIGHTING SPECIFICATIONS (RL-6676-S1)
- A1. ARCHITECTURAL FLOOD PROOF DESIGN BY RANDALL T MUDGE & ASSOCIATES
- A2. ARCHITECTURAL FLOOD PROOF DESIGN BY RANDALL T MUDGE & ASSOCIATES

**WASTEWATER PLANS - "SUMMIT DISTRIBUTING
1436 WEST MAIN STREET RICHMOND VERMONT"
PLANS PREPARED BY TCE (UNDER SEPARATE
COVER)**

- LIST OF PERMITS:**
- CONDITIONAL USE PERMIT #CU2022-06 FROM RICHMOND DRB - AUGUST 23, 2022 (AS MODIFIED BY VERMONT SUPERIOR COURT ON DECEMBER 9, 2022)
 - VDEC ACT 250 LAND USE PERMIT #4C0042-4 - PENDING
 - VDEC CONSTRUCTION GENERAL PERMIT #9608-9020 - JUNE 12, 2023
 - VDEC STORMWATER PERMIT #9608-9050 - PENDING
 - VERMONT AGENCY OF TRANSPORTATION STATE HIGHWAY ACCESS AND WORK PERMIT #45657 - FEBRUARY 23, 2023



REVISIONS

NO.	REVISION	DATE
3	REV. SHT. 4-8, 11, 12	7/6/23
2	REV. SHT. 2-12, TT & ADD A1 & A2	3/23/23
1	REV. SHEETS 4 & 10	6/24/22

JUNE 22, 2022

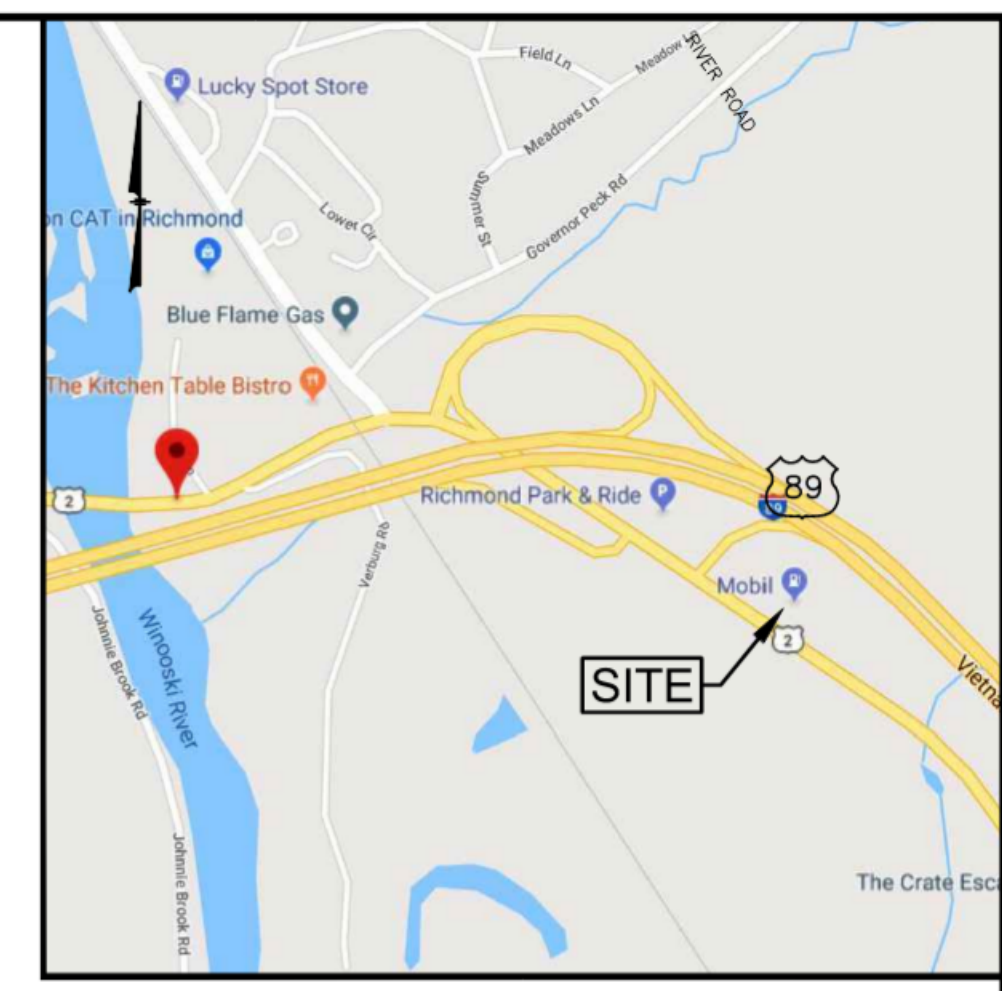
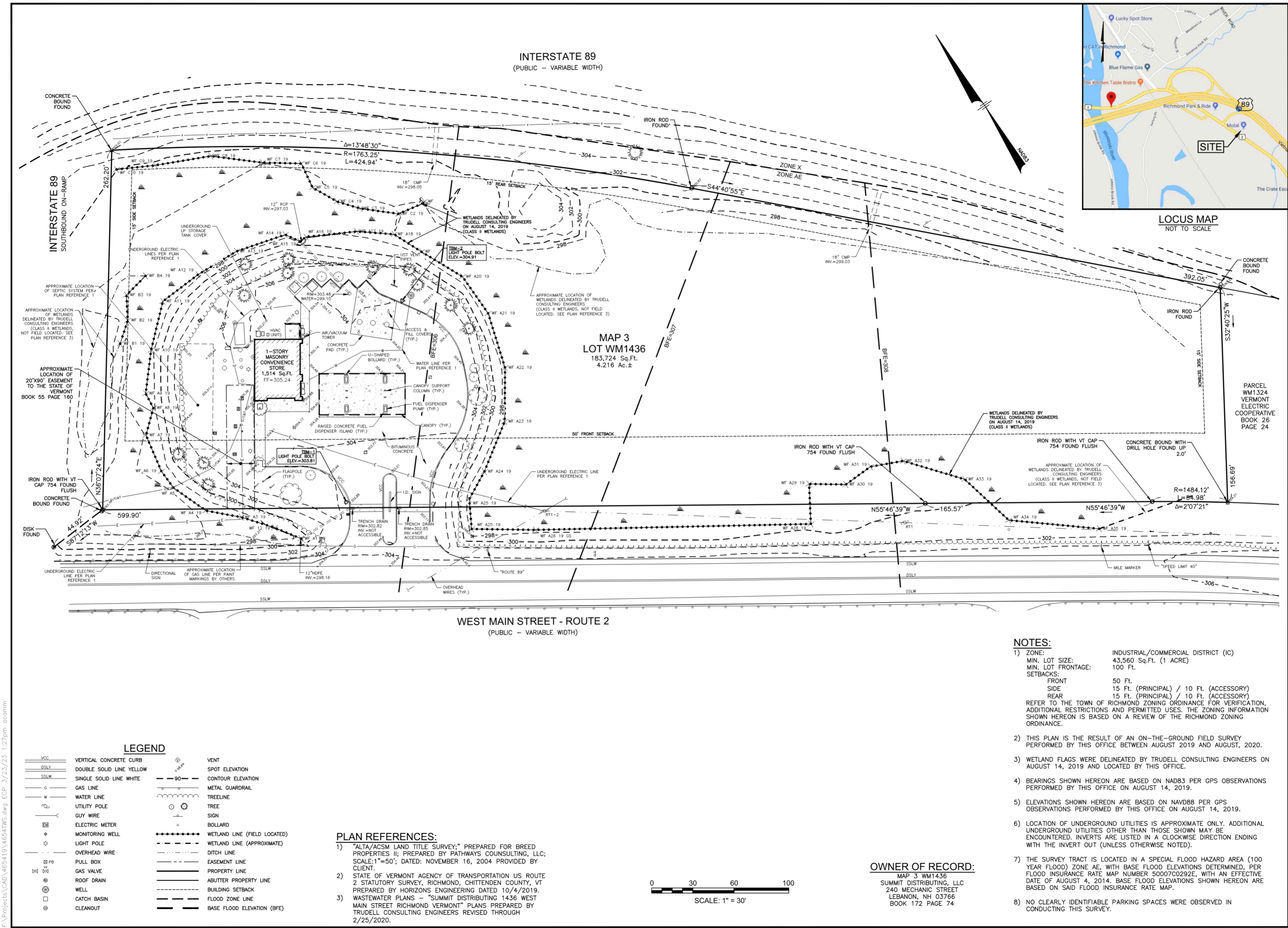
DRAWN/DESIGN BY SJB	CHECKED BY HS
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TITLE SHEET

SCALE: NOT TO SCALE

NEX-465419

1 OF 12



PREPARED FOR
SUMMIT DISTRIBUTING, LLC
240 MECHANIC STREET
LEBANON, NH 03766

**PROPOSED REDEVELOPMENT
ASSESSORS MAP 3 LOT WM1436
1436 WEST MAIN STREET
RICHMOND, VERMONT**



REVISIONS		
NO.	REVISION	DATE
1	MISC. REVISIONS	3/23/23

JUNE 22, 2022

DRAWN/DESIGN BY AKC	CHECKED BY JPB
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**EXISTING
CONDITIONS
PLAN**

SCALE: 1"=30'

NEX-465419

2 OF 12

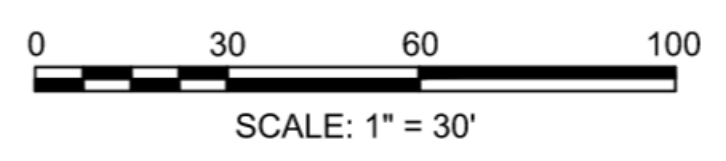
INTERSTATE 89
(PUBLIC - VARIABLE WIDTH)

MAP 3
LOT WM1436
183,724 Sq.Ft.
4.216 Ac.±

WEST MAIN STREET - ROUTE 2
(PUBLIC - VARIABLE WIDTH)

- NOTES:**
- 1) ZONE: INDUSTRIAL/COMMERCIAL DISTRICT (IC)
MIN. LOT SIZE: 43,560 Sq.Ft. (1 ACRE)
MIN. LOT FRONTAGE: 100 Ft.
SETBACKS:
FRONT 50 Ft.
SIDE 15 Ft. (PRINCIPAL) / 10 Ft. (ACCESSORY)
REAR 15 Ft. (PRINCIPAL) / 10 Ft. (ACCESSORY)
REFER TO THE TOWN OF RICHMOND ZONING ORDINANCE FOR VERIFICATION. ADDITIONAL RESTRICTIONS AND PERMITTED USES. THE ZONING INFORMATION SHOWN HEREON IS BASED ON A REVIEW OF THE RICHMOND ZONING ORDINANCE.
 - 2) THIS PLAN IS THE RESULT OF AN ON-THE-GROUND FIELD SURVEY PERFORMED BY THIS OFFICE BETWEEN AUGUST 2019 AND AUGUST, 2020.
 - 3) WETLAND FLAGS WERE DELINEATED BY TRUDELL CONSULTING ENGINEERS ON AUGUST 14, 2019 AND LOCATED BY THIS OFFICE.
 - 4) BEARINGS SHOWN HEREON ARE BASED ON NAD83 PER GPS OBSERVATIONS PERFORMED BY THIS OFFICE ON AUGUST 14, 2019.
 - 5) ELEVATIONS SHOWN HEREON ARE BASED ON NAVD88 PER GPS OBSERVATIONS PERFORMED BY THIS OFFICE ON AUGUST 14, 2019.
 - 6) LOCATION OF UNDERGROUND UTILITIES IS APPROXIMATE ONLY. ADDITIONAL UNDERGROUND UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED. INVERTS ARE LISTED IN A CLOCKWISE DIRECTION ENDING WITH THE INVERT OUT (UNLESS OTHERWISE NOTED).
 - 7) THE SURVEY TRACT IS LOCATED IN A SPECIAL FLOOD HAZARD AREA (100 YEAR FLOOD) ZONE AE, WITH BASE FLOOD ELEVATIONS DETERMINED, PER FLOOD INSURANCE RATE MAP NUMBER 50007C0292E, WITH AN EFFECTIVE DATE OF AUGUST 4, 2014. BASE FLOOD ELEVATIONS SHOWN HEREON ARE BASED ON SAID FLOOD INSURANCE RATE MAP.
 - 8) NO CLEARLY IDENTIFIABLE PARKING SPACES WERE OBSERVED IN CONDUCTING THIS SURVEY.

OWNER OF RECORD:
MAP 3 WM1436
SUMMIT DISTRIBUTING, LLC
240 MECHANIC STREET
LEBANON, NH 03766
BOOK 172 PAGE 74



- PLAN REFERENCES:**
- 1) "ALTA/ACSM LAND TITLE SURVEY;" PREPARED FOR BREED PROPERTIES II; PREPARED BY PATHWAYS COUNSLTING, LLC; SCALE: 1"=50'; DATED: NOVEMBER 16, 2004 PROVIDED BY CLIENT.
 - 2) STATE OF VERMONT AGENCY OF TRANSPORTATION US ROUTE 2 STATUTORY SURVEY, RICHMOND, CHITTENDEN COUNTY, VT PREPARED BY HORIZONS ENGINEERING DATED 10/4/2019.
 - 3) WASTEWATER PLANS - "SUMMIT DISTRIBUTING 1436 WEST MAIN STREET RICHMOND VERMONT" PLANS PREPARED BY TRUDELL CONSULTING ENGINEERS REVISED THROUGH 2/25/2020.

LEGEND

- | | | | |
|------|--------------------------|------|------------------------------|
| VCC | VERTICAL CONCRETE CURB | VENT | SPOT ELEVATION |
| DSL | DOUBLE SOLID LINE YELLOW | 90 | CONTOUR ELEVATION |
| SSLW | SINGLE SOLID LINE WHITE | --- | METAL GUARDRAIL |
| o | GAS LINE | --- | TREELINE |
| w | WATER LINE | o | TREE |
| u | UTILITY POLE | o | SIGN |
| g | GUY WIRE | o | BOLLARD |
| m | ELECTRIC METER | o | WETLAND LINE (FIELD LOCATED) |
| mw | MONITORING WELL | o | WETLAND LINE (APPROXIMATE) |
| lp | LIGHT POLE | o | DITCH LINE |
| ow | OVERHEAD WIRE | o | EASEMENT LINE |
| pb | PULL BOX | o | PROPERTY LINE |
| gv | GAS VALVE | o | ABUTTER PROPERTY LINE |
| rd | ROOF DRAIN | o | BUILDING SETBACK |
| w | WELL | o | FLOOD ZONE LINE |
| cb | CATCH BASIN | o | BASE FLOOD ELEVATION (BFE) |
| cn | CLEANOUT | o | |

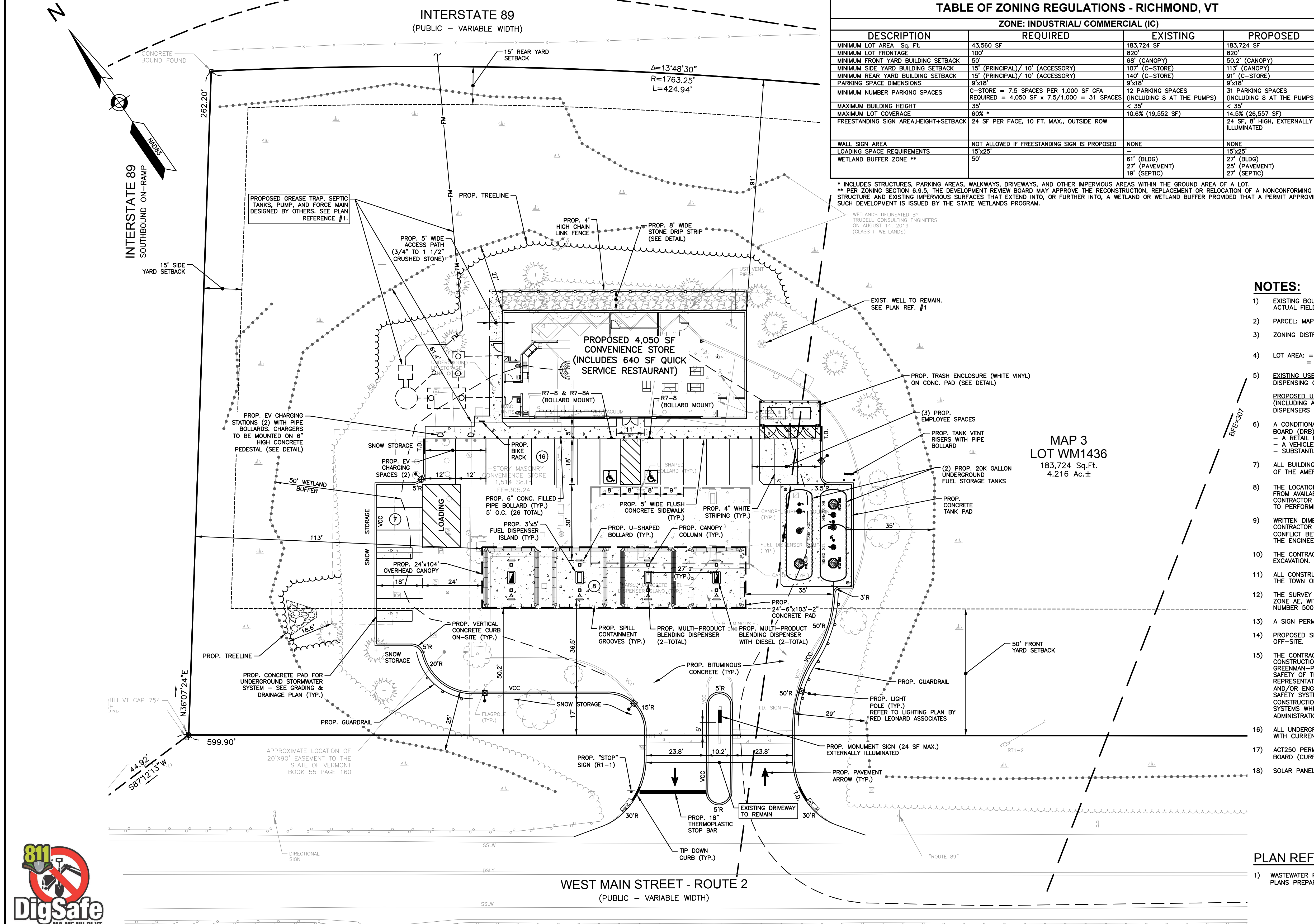
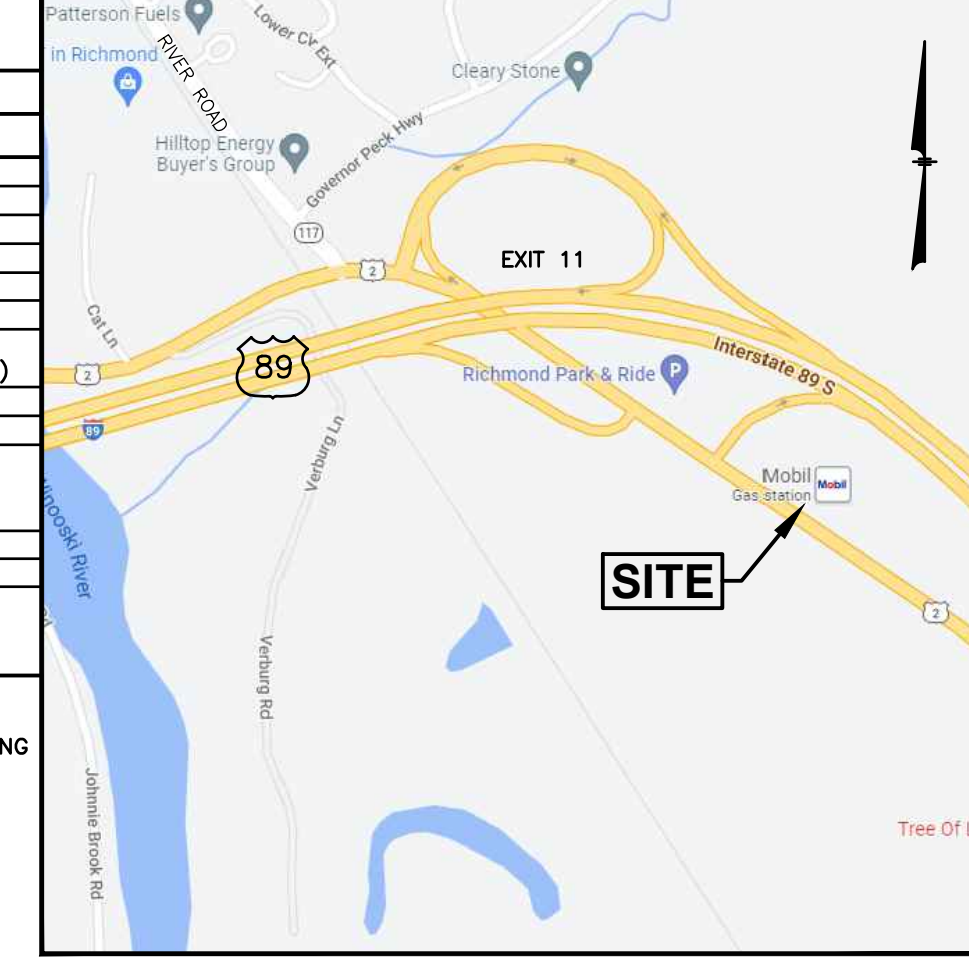


TABLE OF ZONING REGULATIONS - RICHMOND, VT

DESCRIPTION	ZONE: INDUSTRIAL/ COMMERCIAL (IC)		
	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA - Sq. Ft.	43,560 SF	183,724 SF	183,724 SF
MINIMUM LOT FRONTAGE	110'	820'	820'
MINIMUM FRONT YARD BUILDING SETBACK	50'	68' (CANOPY)	50.2' (CANOPY)
MINIMUM SIDE YARD BUILDING SETBACK	15' (PRINCIPAL) / 10' (ACCESSORY)	107' (C-STORE)	113' (CANOPY)
MINIMUM REAR YARD BUILDING SETBACK	15' (PRINCIPAL) / 10' (ACCESSORY)	140' (C-STORE)	91' (C-STORE)
PARKING SPACE DIMENSIONS	9'x18'	9'x18'	9'x18'
MINIMUM NUMBER PARKING SPACES	C-STORE = 7.5 SPACES PER 1,000 SF GFA REQUIRED = 4,050 SF x 7.5 / 1,000 = 31 SPACES	12 PARKING SPACES (INCLUDING 8 AT THE PUMPS)	31 PARKING SPACES (INCLUDING 8 AT THE PUMPS)
MAXIMUM BUILDING HEIGHT	35'	< 35'	< 35'
MAXIMUM LOT COVERAGE	60% *	10.6% (19,552 SF)	14.5% (26,557 SF)
FREESTANDING SIGN AREA, HEIGHT+SETBACK	24 SF PER FACE, 10 FT. MAX., OUTSIDE ROW		24 SF, 8' HIGH, EXTERNALLY ILLUMINATED
WALL SIGN AREA	NOT ALLOWED IF FREESTANDING SIGN IS PROPOSED	NONE	NONE
LOADING SPACE REQUIREMENTS	15'x25'	81' (BLDG)	15'x25'
WETLAND BUFFER ZONE **	50'	27' (PAVEMENT) 19' (SEPTIC)	25' (PAVEMENT) 27' (SEPTIC)

* INCLUDES STRUCTURES, PARKING AREAS, WALKWAYS, DRIVEWAYS, AND OTHER IMPERVIOUS AREAS WITHIN THE GROUND AREA OF A LOT.
 ** PER ZONING SECTION 6.9.5, THE DEVELOPMENT REVIEW BOARD MAY APPROVE THE RECONSTRUCTION, REPLACEMENT OR RELOCATION OF A NONCONFORMING STRUCTURE AND EXISTING IMPERVIOUS SURFACES THAT EXTEND INTO, OR FURTHER INTO, A WETLAND OR WETLAND BUFFER PROVIDED THAT A PERMIT APPROVING SUCH DEVELOPMENT IS ISSUED BY THE STATE WETLANDS PROGRAM.



LOCATION MAP
(NOT TO SCALE)

NOTES:

- EXISTING BOUNDARY AND PLANIMETRIC INFORMATION AS SHOWN IS THE RESULT OF AN ACTUAL FIELD SURVEY BY THIS OFFICE.
- PARCEL: MAP 3, LOT WM1436
- ZONING DISTRICT: INDUSTRIAL/ COMMERCIAL (IC)
(FLOOD OVERLAY DISTRICT - SPECIAL FLOOD HAZARD AREA)
- LOT AREA: = 183,724± Sq.Ft.
= 4.216± Ac.
- EXISTING USE: RETAIL MOTOR FUEL OUTLET WITH 1,514 SF CONVENIENCE STORE AND FUEL DISPENSING CANOPY WITH 4 DISPENSERS (8 FUELING LOCATIONS).
- PROPOSED USE: RETAIL MOTOR FUEL OUTLET WITH 4,050 SF CONVENIENCE STORE (INCLUDING A 640 SF QUICK SERVICE RESTAURANT), ONE FUEL DISPENSING CANOPY WITH 4 DISPENSERS (8 FUELING LOCATIONS), AND TWO (2) ELECTRIC VEHICLE CHARGING STATIONS.
- A CONDITIONAL USE PERMIT (CU2022-06) WAS ISSUED BY THE DEVELOPMENT REVIEW BOARD (DRB) ON AUGUST 23, 2022 TO ALLOW THE FOLLOWING:
 - A RETAIL BUSINESS IN THE IC DISTRICT
 - A VEHICLE FUELING STATION IN THE IC DISTRICT
 - SUBSTANTIAL IMPROVEMENTS WITHIN THE SPECIAL FLOOD HAZARD AREA
- ALL BUILDINGS AND SITE CONSTRUCTION SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE AMERICANS WITH DISABILITIES ACT (ADA) AS REVISED IN 2010.
- THE LOCATIONS OF EXISTING SUBSURFACE UTILITIES SHOWN ON THIS PLAN WERE COMPILED FROM AVAILABLE RECORD DRAWINGS AND ARE NOT WARRANTED TO BE CORRECT. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING SUBSURFACE UTILITIES PRIOR TO PERFORMING ANY WORK.
- WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIGSAFE 811 PRIOR TO ANY EXCAVATION.
- ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF RICHMOND AND THE STATE OF VERMONT.
- THE SURVEY TRACT IS LOCATED IN A SPECIAL FLOOD HAZARD AREA (100 YEAR FLOOD) ZONE AE, WITH BASE FLOOD ELEVATIONS DETERMINED, PER FLOOD INSURANCE RATE MAP NUMBER 50007C0292E, WITH AN EFFECTIVE DATE OF AUGUST 4, 2014.
- A SIGN PERMIT SHALL BE OBTAINED PRIOR TO INSTALLATION.
- PROPOSED SNOW STORAGE AREAS ARE AS SHOWN. ANY EXCESS SNOW TO BE TRUCKED OFF-SITE.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY GREENMAN-PEDERSEN, INC., DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR AND/OR ENGINEER AS INCLUDED IN THE PLAN SET DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE AND/OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
- ALL UNDERGROUND FUEL STORAGE TANKS, PRODUCT PIPING AND VENT LINES SHALL COMPLY WITH CURRENT VTDEC AND E.P.A. REGULATIONS.
- ACT250 PERMIT AMENDMENT REQUIRED FROM STATE OF VERMONT NATURAL RESOURCES BOARD (CURRENT PERMIT 4C0042-3 DATED 2003).
- SOLAR PANELS WILL BE PROVIDED ON THE BUILDING ROOF AND CANOPY.

PLAN REFERENCES:

- WASTEWATER PLANS - "SUMMIT DISTRIBUTING 1436 WEST MAIN STREET RICHMOND VERMONT" PLANS PREPARED BY TRUDELL CONSULTING ENGINEERS (TCE), AS REVISED.

GPI Engineering
Design
Planning
Construction Management
403.893.0720
Greenman-Pedersen, Inc.
44 Stiles Road, Suite One
Salem, NH 03079
GPINET.COM

PREPARED FOR
SUMMIT DISTRIBUTING, LLC
240 MECHANIC STREET
LEBANON, NH 03766

PROPOSED REDEVELOPMENT
ASSESSORS MAP 3 LOT WM1436
1436 WEST MAIN STREET
RICHMOND, VERMONT

REVISIONS		
NO.	REVISION	DATE
3	REV. CONC. PAD FOR DRAINAGE SYSTEM	7/6/23
2	ADD BIKE RACK & REVISE CANOPY	3/23/23
1	REV. SIGNAGE	6/24/22
NO.	REVISION	DATE

JUNE 22, 2022
 DRAWN/DESIGN BY: SJB
 CHECKED BY: HS

SITE PLAN

SCALE: 1"=20'

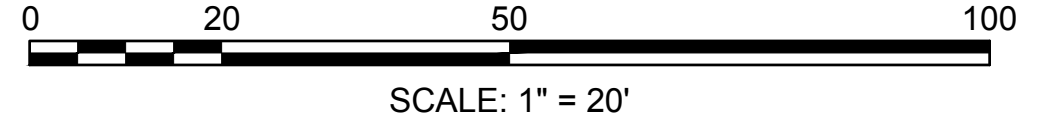
NEX-465419

4 OF 12

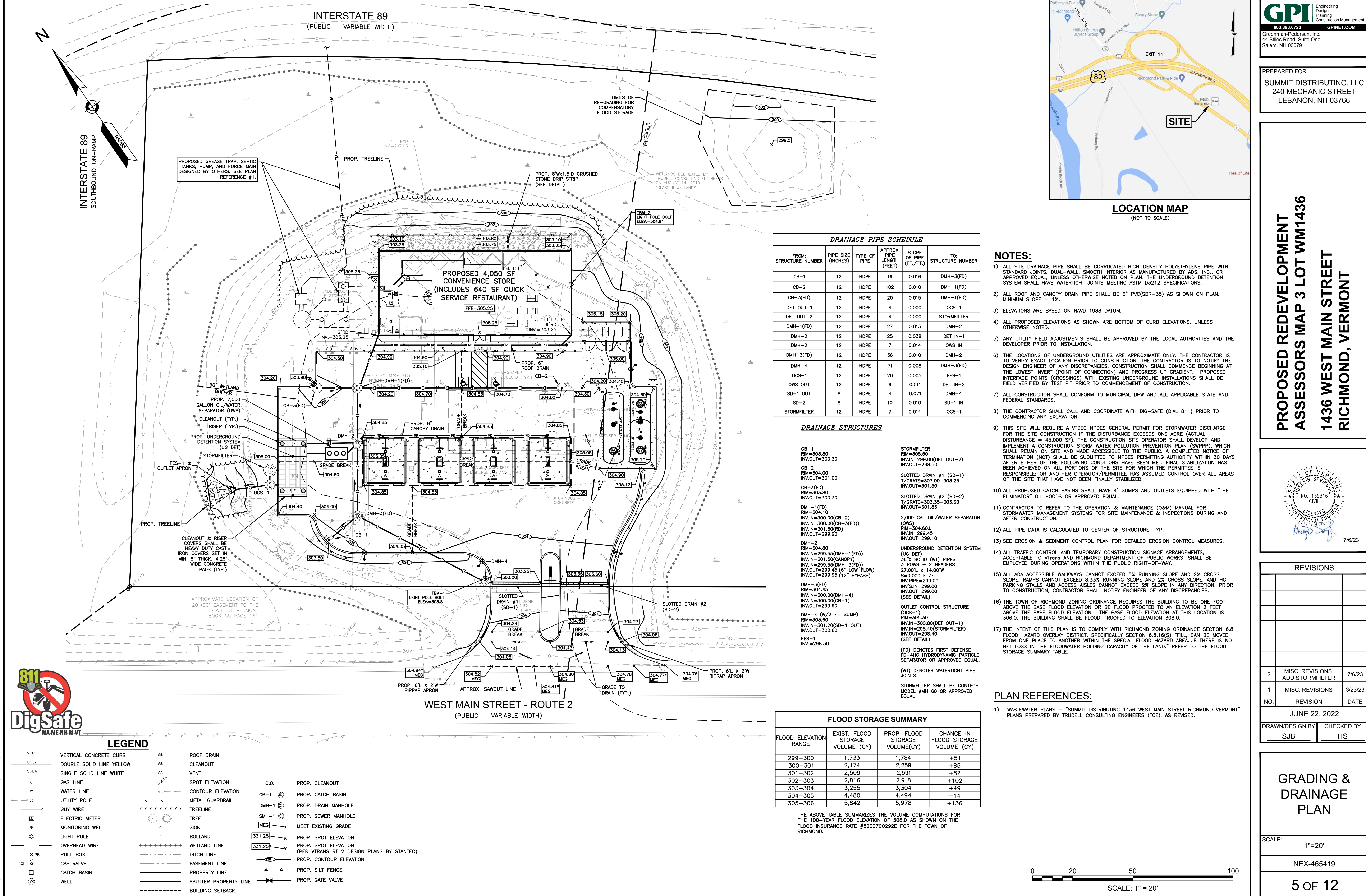


LEGEND

VCC	VERTICAL CONCRETE CURB	ROOF DRAIN	ROOF DRAIN
DSLY	DOUBLE SOLID LINE YELLOW	CLEANOUT	CLEANOUT
SSLW	SINGLE SOLID LINE WHITE	VENT	VENT
c	GAS LINE	SPOT ELEVATION	SPOT ELEVATION
w	WATER LINE	CONTOUR ELEVATION	CONTOUR ELEVATION
U	UTILITY POLE	METAL GUARDRAIL	METAL GUARDRAIL
G	GUY WIRE	TREELINE	TREELINE
EM	ELECTRIC METER	TREE	TREE
MW	MONITORING WELL	SIGN	SIGN
LP	LIGHT POLE	BOLLARD	BOLLARD
OW	OVERHEAD WIRE	WETLAND LINE	WETLAND LINE
PB	PULL BOX	DITCH LINE	DITCH LINE
GV	GAS VALVE	EASEMENT LINE	EASEMENT LINE
CB	CATCH BASIN	PROPERTY LINE	PROPERTY LINE
W	WELL	ABUTTER PROPERTY LINE	ABUTTER PROPERTY LINE
PS	NUMBER OF PARKING SPACES	BUILDING SETBACK	BUILDING SETBACK
T.D.	TIP DOWN CURB		

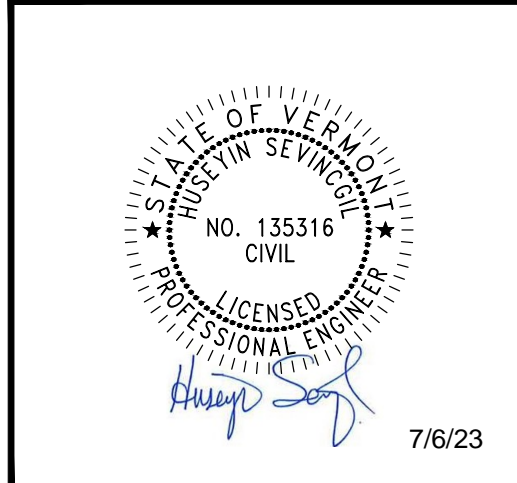


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PREPARED FOR
SUMMIT DISTRIBUTING, LLC
240 MECHANIC STREET
LEBANON, NH 03766

**PROPOSED REDEVELOPMENT
ASSESSORS MAP 3 LOT WM1436
1436 WEST MAIN STREET
RICHMOND, VERMONT**



REVISIONS		
NO.	REVISION	DATE
2	MISC. REVISIONS, ADD STORMFILTER	7/6/23
1	MISC. REVISIONS	3/23/23
JUNE 22, 2022		
DRAWN/DESIGN BY SJB		CHECKED BY HS

**GRADING &
DRAINAGE
PLAN**

SCALE: 1" = 20'

NEX-465419

5 OF 12



DRAINAGE PIPE SCHEDULE

FROM: STRUCTURE NUMBER	PIPE SIZE (INCHES)	TYPE OF PIPE	APPROX. PIPE LENGTH (FEET)	SLOPE OF PIPE (FT./FT.)	TO: STRUCTURE NUMBER
CB-1	12	HDPE	19	0.016	DMH-3(FD)
CB-2	12	HDPE	102	0.010	DMH-1(FD)
CB-3(FD)	12	HDPE	20	0.015	DMH-1(FD)
DET OUT-1	12	HDPE	4	0.000	OCS-1
DET OUT-2	12	HDPE	4	0.000	STORMFILTER
DMH-1(FD)	12	HDPE	27	0.013	DMH-2
DMH-2	12	HDPE	25	0.038	DET IN-1
DMH-2	12	HDPE	7	0.014	OWS IN
DMH-3(FD)	12	HDPE	36	0.010	DMH-2
DMH-4	12	HDPE	71	0.008	DMH-3(FD)
OCS-1	12	HDPE	20	0.005	FES-1
OWS OUT	12	HDPE	9	0.011	DET IN-2
SD-1 OUT	8	HDPE	4	0.071	DMH-4
SD-2	8	HDPE	10	0.010	SD-1 IN
STORMFILTER	12	HDPE	7	0.014	OCS-1

DRAINAGE STRUCTURES

CB-1 RIM=303.80 INV.OUT=300.30 CB-2 RIM=304.00 INV.OUT=301.00 CB-3(FD) RIM=303.80 INV.OUT=300.30 DMH-1(FD) RIM=304.10 INV.IN=300.00(CB-2) INV.IN=300.00(CB-3(FD)) INV.IN=301.60(RO) INV.OUT=299.90 DMH-2 RIM=304.80 INV.IN=299.55(DMH-1(FD)) INV.IN=301.50(CANOPY) INV.IN=299.55(DMH-3(FD)) INV.OUT=299.45 (8" LOW FLOW) INV.OUT=299.95 (12" BYPASS) DMH-3(FD) RIM=304.45 INV.IN=300.00(DMH-4) INV.IN=300.00(CB-1) INV.OUT=299.90 DMH-4 (W/2 FT. SUMP) RIM=303.60 INV.IN=301.20(SD-1 OUT) INV.OUT=300.60 FES-1 INV.=298.30 STORMFILTER RIM=305.50 INV.=299.00(DET OUT-2) INV.=298.50 SLOTTED DRAIN #1 (SD-1) T/GRATE=303.00-303.25 INV.OUT=301.50 SLOTTED DRAIN #2 (SD-2) T/GRATE=303.35-303.60 INV.OUT=301.85 2,000 GAL OIL/WATER SEPARATOR (OWS) RIM=304.60± INV.=299.45 INV.=299.10 UNDERGROUND DETENTION SYSTEM (UG DET) 36" 90 SOLID (WT) PIPES 3 ROWS + 2 HEADERS 27.00' x 14.00' W S=0.000 FT/FT INV.PE=299.00 INV.S.IN=299.00 INV.OUT=299.90 (SEE DETAIL) OUTLET CONTROL STRUCTURE (OCS-1) RIM=305.30 INV.IN=300.80(DET OUT-1) INV.IN=298.40(STORMFILTER) INV.OUT=298.40 (SEE DETAIL) (FD) DENOTES FIRST DEFENSE FD=4HC HYDRODYNAMIC PARTICLE SEPARATOR OR APPROVED EQUAL (WT) DENOTES WATER TIGHT PIPE JOINTS STORMFILTER SHALL BE CONTECH MODEL #MH 60 OR APPROVED EQUAL

FLOOD STORAGE SUMMARY

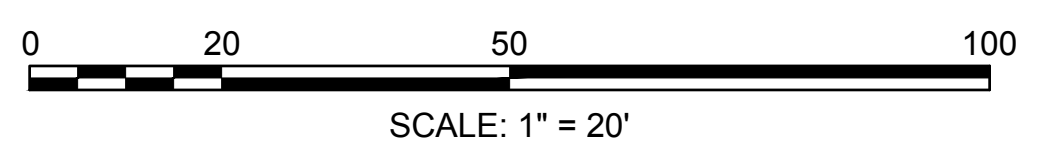
FLOOD ELEVATION RANGE	EXIST. FLOOD STORAGE VOLUME (CY)	PROP. FLOOD STORAGE VOLUME (CY)	CHANGE IN FLOOD STORAGE VOLUME (CY)
299-300	1,733	1,784	+51
300-301	2,174	2,259	+85
301-302	2,509	2,591	+82
302-303	2,816	2,918	+102
303-304	3,255	3,304	+49
304-305	4,480	4,494	+14
305-306	5,842	5,978	+136

THE ABOVE TABLE SUMMARIZES THE VOLUME COMPUTATIONS FOR THE 100-YEAR FLOOD ELEVATION OF 306.0 AS SHOWN ON THE FLOOD INSURANCE RATE #50007C0292E FOR THE TOWN OF RICHMOND.

- NOTES:**
- ALL SITE DRAINAGE PIPE SHALL BE CORRUGATED HIGH-DENSITY POLYETHYLENE PIPE WITH STANDARD JOINTS, DUAL-WALL, SMOOTH INTERIOR AS MANUFACTURED BY ADS, INC. OR APPROVED EQUAL, UNLESS OTHERWISE NOTED ON PLAN. THE UNDERGROUND DETENTION SYSTEM SHALL HAVE WATER TIGHT JOINTS MEETING ASTM D3212 SPECIFICATIONS.
 - ALL ROOF AND CANOPY DRAIN PIPE SHALL BE 6" PVC(SDR-35) AS SHOWN ON PLAN. MINIMUM SLOPE = 1%.
 - ELEVATIONS ARE BASED ON NAVD 1988 DATUM.
 - ALL PROPOSED ELEVATIONS AS SHOWN ARE BOTTOM OF CURB ELEVATIONS, UNLESS OTHERWISE NOTED.
 - ANY UTILITY FIELD ADJUSTMENTS SHALL BE APPROVED BY THE LOCAL AUTHORITIES AND THE DEVELOPER PRIOR TO INSTALLATION.
 - THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE ONLY. THE CONTRACTOR IS TO VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND INSTALLATIONS SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 - ALL CONSTRUCTION SHALL CONFORM TO MUNICIPAL DPW AND ALL APPLICABLE STATE AND FEDERAL STANDARDS.
 - THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIG-SAFE (DIAL 811) PRIOR TO COMMENCING ANY EXCAVATION.
 - THIS SITE WILL REQUIRE A VTDEC NPDES GENERAL PERMIT FOR STORMWATER DISCHARGE FOR THE SITE CONSTRUCTION IF THE DISTURBANCE EXCEEDS ONE ACRE (ACTUAL DISTURBANCE = 45,000 SF). THE CONSTRUCTION SITE OPERATOR SHALL DEVELOP AND IMPLEMENT A CONSTRUCTION STORM WATER POLLUTION PREVENTION PLAN (SWPPP), WHICH SHALL REMAIN ON SITE AND MADE ACCESSIBLE TO THE PUBLIC. A COMPLETED NOTICE OF TERMINATION (NOT) SHALL BE SUBMITTED TO NPDES PERMITTING AUTHORITY WITHIN 30 DAYS AFTER EITHER OF THE FOLLOWING CONDITIONS HAVE BEEN MET: FINAL STABILIZATION HAS BEEN ACHIEVED ON ALL PORTIONS OF THE SITE FOR WHICH THE PERMITTEE IS RESPONSIBLE; OR ANOTHER OPERATOR/PERMITTEE HAS ASSUMED CONTROL OVER ALL AREAS OF THE SITE THAT HAVE NOT BEEN FINALLY STABILIZED.
 - ALL PROPOSED DRAIN BASINS SHALL HAVE 4" SUMPS AND OUTLETS EQUIPPED WITH "THE ELIMINATOR" OIL HOODS OR APPROVED EQUAL.
 - CONTRACTOR TO REFER TO THE OPERATION & MAINTENANCE (O&M) MANUAL FOR STORMWATER MANAGEMENT SYSTEMS FOR SITE MAINTENANCE & INSPECTIONS DURING AND AFTER CONSTRUCTION.
 - SEE EROSION & SEDIMENT CONTROL PLAN FOR DETAILED EROSION CONTROL MEASURES.
 - ALL TRAFFIC CONTROL AND TEMPORARY CONSTRUCTION SIGNAGE ARRANGEMENTS, ACCEPTABLE TO VTTRANS AND RICHMOND DEPARTMENT OF PUBLIC WORKS, SHALL BE EMPLOYED DURING OPERATIONS WITHIN THE PUBLIC RIGHT-OF-WAY.
 - ALL ADA ACCESSIBLE WALKWAYS CANNOT EXCEED 5% RUNNING SLOPE AND 2% CROSS SLOPE. RAMPS CANNOT EXCEED 8.33% RUNNING SLOPE AND 2% CROSS SLOPE, AND HC PARKING STALLS AND ACCESS AISLES CANNOT EXCEED 2% SLOPE IN ANY DIRECTION. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES.
 - THE TOWN OF RICHMOND ZONING ORDINANCE REQUIRES THE BUILDING TO BE ONE FOOT ABOVE THE BASE FLOOD ELEVATION OR BE FLOOD PROOFED TO AN ELEVATION 2 FEET ABOVE THE BASE FLOOD ELEVATION. THE BASE FLOOD ELEVATION AT THIS LOCATION IS 306.0. THE BUILDING SHALL BE FLOOD PROOFED TO ELEVATION 308.0.
 - THE INTENT OF THIS PLAN IS TO COMPLY WITH RICHMOND ZONING ORDINANCE SECTION 6.8 FLOOD HAZARD OVERLAY DISTRICT, SPECIFICALLY SECTION 6.8.16(S) "FILL, CAN BE MOVED FROM ONE PLACE TO ANOTHER WITHIN THE SPECIAL FLOOD HAZARD AREA, IF THERE IS NO NET LOSS IN THE FLOODWATER HOLDING CAPACITY OF THE LAND." REFER TO THE FLOOD STORAGE SUMMARY TABLE.

PLAN REFERENCES:

- WASTEWATER PLANS - "SUMMIT DISTRIBUTING 1436 WEST MAIN STREET RICHMOND VERMONT" PLANS PREPARED BY TRUDELL CONSULTING ENGINEERS (TCE), AS REVISED.



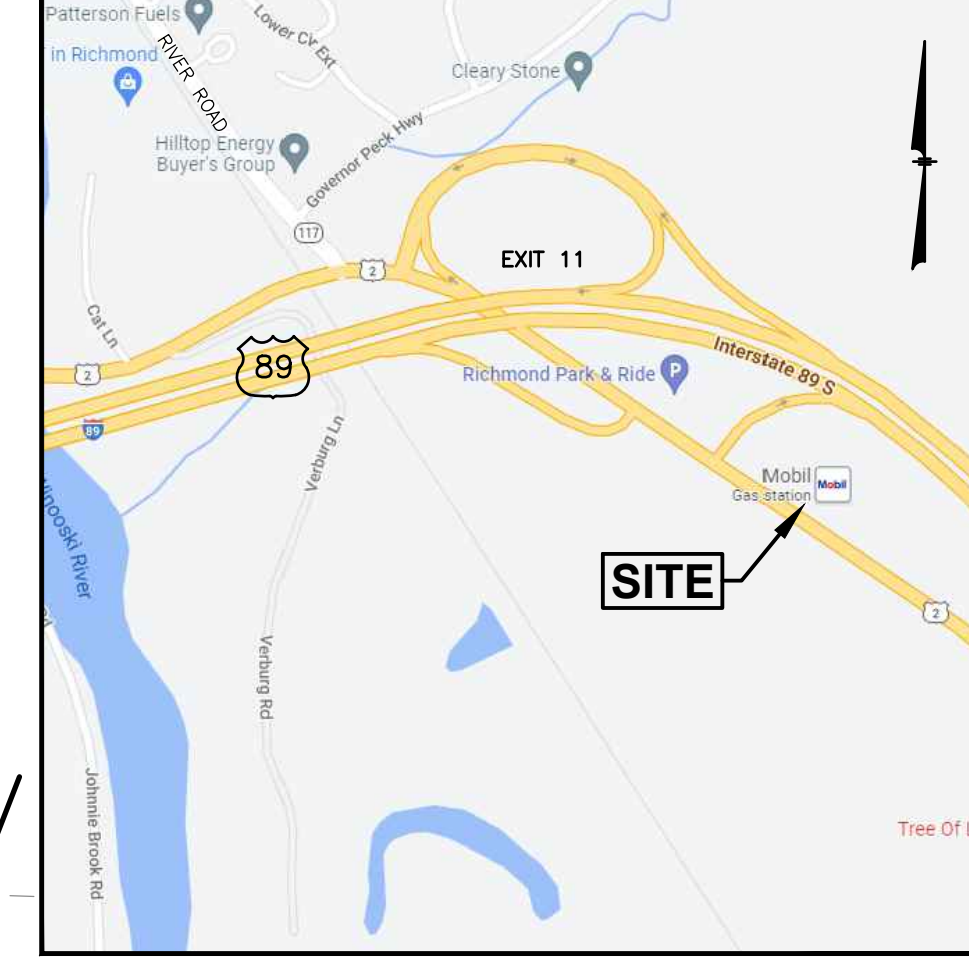
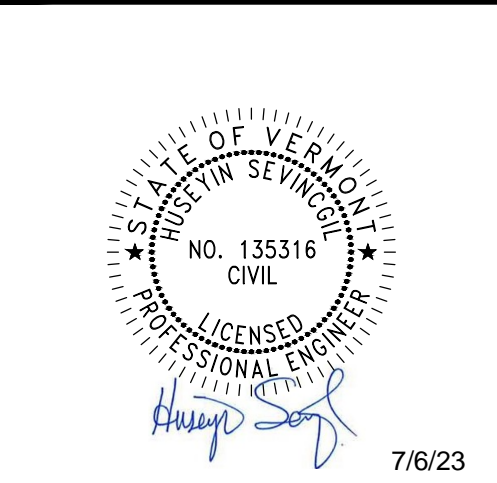
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LEGEND

VCC	VERTICAL CONCRETE CURB	⊗	ROOF DRAIN
DSLY	DOUBLE SOLID LINE YELLOW	⊙	CLEANOUT
SSW	SINGLE SOLID LINE WHITE	○	VENT
c	GAS LINE	⊙	SPOT ELEVATION
w	WATER LINE	○	CONTOUR ELEVATION
U	UTILITY POLE	○	METAL GUARDRAIL
G	GUY WIRE	○	TREELINE
EM	ELECTRIC METER	○	SIGN
⊕	MONITORING WELL	○	BOLLARD
○	LIGHT POLE	○	WETLAND LINE
○	OVERHEAD WIRE	○	DITCH LINE
⊕	PULL BOX	○	EASEMENT LINE
⊕	GAS VALVE	○	PROPERTY LINE
⊕	CATCH BASIN	○	ABUTTER PROPERTY LINE
⊕	WELL	○	BUILDING SETBACK
		⊗	PROP. CLEANOUT
		⊙	PROP. CATCH BASIN
		⊙	PROP. DRAIN MANHOLE
		⊙	PROP. SEWER MANHOLE
		⊙	MEET EXISTING GRADE
		⊙	PROP. SPOT ELEVATION
		⊙	PROP. SPOT ELEVATION (PER VTTRANS RT 2 DESIGN PLANS BY STANTEC)
		⊙	PROP. CONTOUR ELEVATION
		⊙	PROP. SILT FENCE
		⊙	PROP. GATE VALVE

**PROPOSED REDEVELOPMENT
ASSESSORS MAP 3 LOT WM1436
1436 WEST MAIN STREET
RICHMOND, VERMONT**

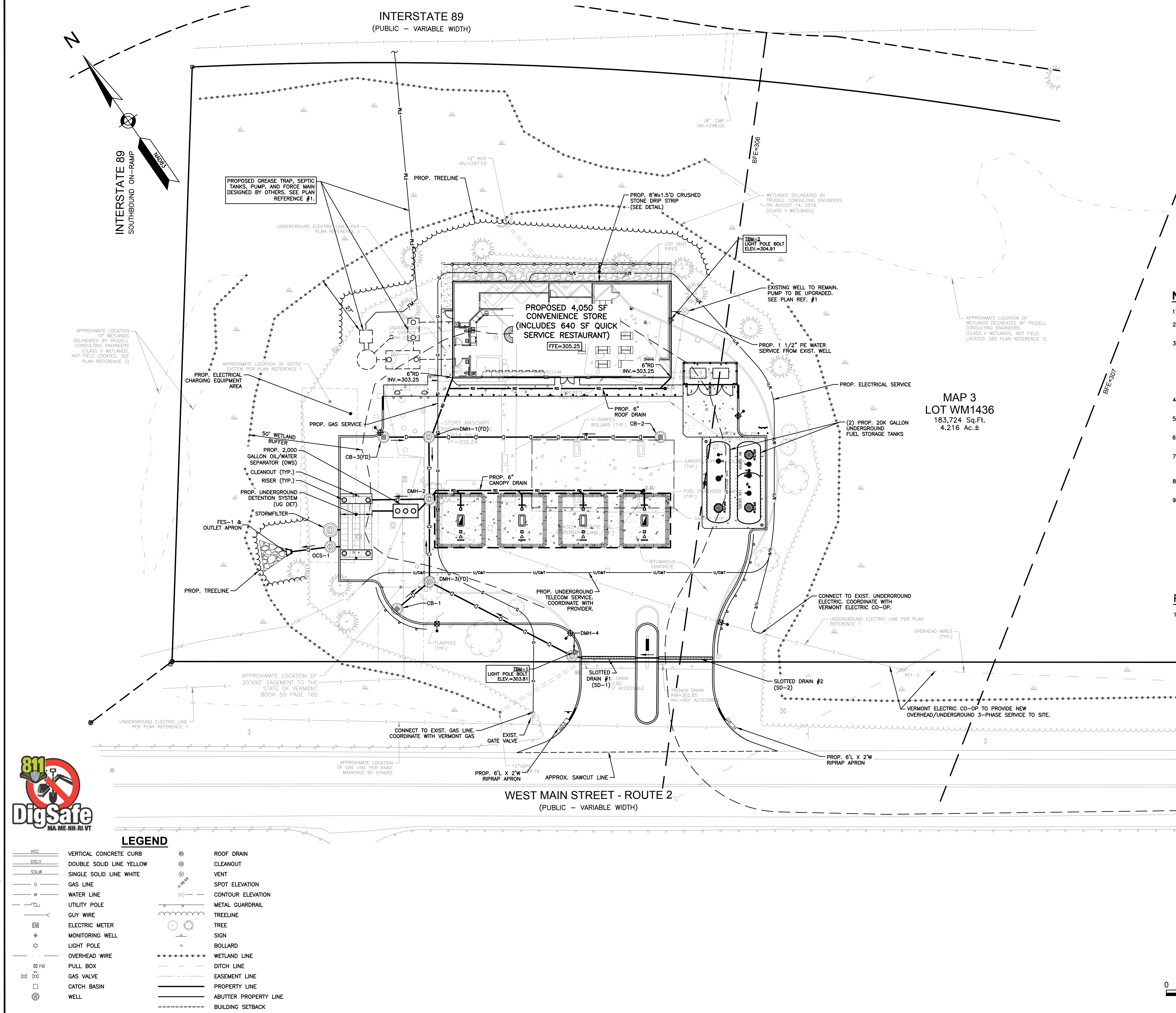


- NOTES:**
- 1) ALL WATER PIPE SHALL BE POLYETHYLENE, UNLESS OTHERWISE NOTED.
 - 2) ANY UTILITY FIELD ADJUSTMENTS SHALL BE APPROVED BY THE LOCAL AUTHORITIES AND THE DEVELOPER PRIOR TO INSTALLATION.
 - 3) THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE ONLY. THE CONTRACTOR IS TO VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND INSTALLATIONS SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 - 4) ALL CONSTRUCTION SHALL CONFORM TO MUNICIPAL DPW AND ALL APPLICABLE STATE AND FEDERAL STANDARDS.
 - 5) THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIG-SAFE (811) PRIOR TO COMMENCING ANY EXCAVATION.
 - 6) ALL WATER AND SEWER CONSTRUCTION SHALL CONFORM TO DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS.
 - 7) ALL ELECTRIC, TELEPHONE AND CABLE TV LINES ARE TO BE UNDERGROUND AND INSTALLED IN CONFORMANCE WITH APPLICABLE UTILITY CO. SPECIFICATIONS.
 - 8) ANY UTILITIES TO BE TAKEN OUT OF SERVICE SHALL BE DISCONNECTED AS DIRECTED BY UTILITY COMPANY AND LOCAL DPW.
 - 9) ALL TRAFFIC CONTROL AND TEMPORARY CONSTRUCTION SIGNAGE ARRANGEMENTS, ACCEPTABLE TO VTTRANS AND RICHMOND DEPARTMENT OF PUBLIC WORKS, SHALL BE EMPLOYED DURING OPERATIONS WITHIN THE PUBLIC RIGHT-OF-WAY.

- PLAN REFERENCES:**
- 1) WASTEWATER PLANS - "SUMMIT DISTRIBUTING 1436 WEST MAIN STREET RICHMOND VERMONT" PLANS PREPARED BY TRUDELL CONSULTING ENGINEERS REVISED THROUGH 2/25/2020.

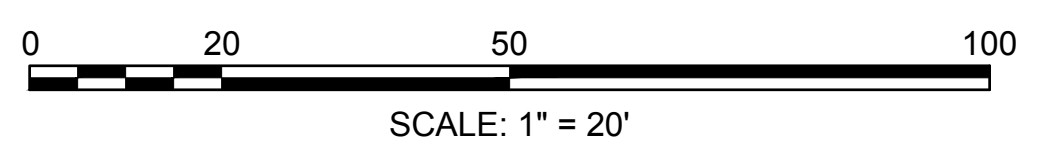
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2	REV. DRAINAGE	7/6/23
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UTILITY PLAN	
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6 OF 12	



LEGEND

VCC	VERTICAL CONCRETE CURB	⊙	ROOF DRAIN
DSLY	DOUBLE SOLID LINE YELLOW	⊙	CLEANOUT
SSLUW	SINGLE SOLID LINE WHITE	⊙	VENT
c	GAS LINE	⊙	SPOT ELEVATION
w	WATER LINE	⊙	CONTOUR ELEVATION
U	UTILITY POLE	⊙	METAL GUARDRAIL
G	GUY WIRE	⊙	TREELINE
EM	ELECTRIC METER	⊙	TREE
MW	MONITORING WELL	⊙	SIGN
LP	LIGHT POLE	⊙	BOLLARD
OW	OVERHEAD WIRE	⊙	WETLAND LINE
PB	PULL BOX	⊙	DITCH LINE
GV	GAS VALVE	⊙	EASEMENT LINE
CB	CATCH BASIN	⊙	PROPERTY LINE
W	WELL	⊙	ABUTTER PROPERTY LINE
		⊙	BUILDING SETBACK



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CONSTRUCTION SEQUENCE:

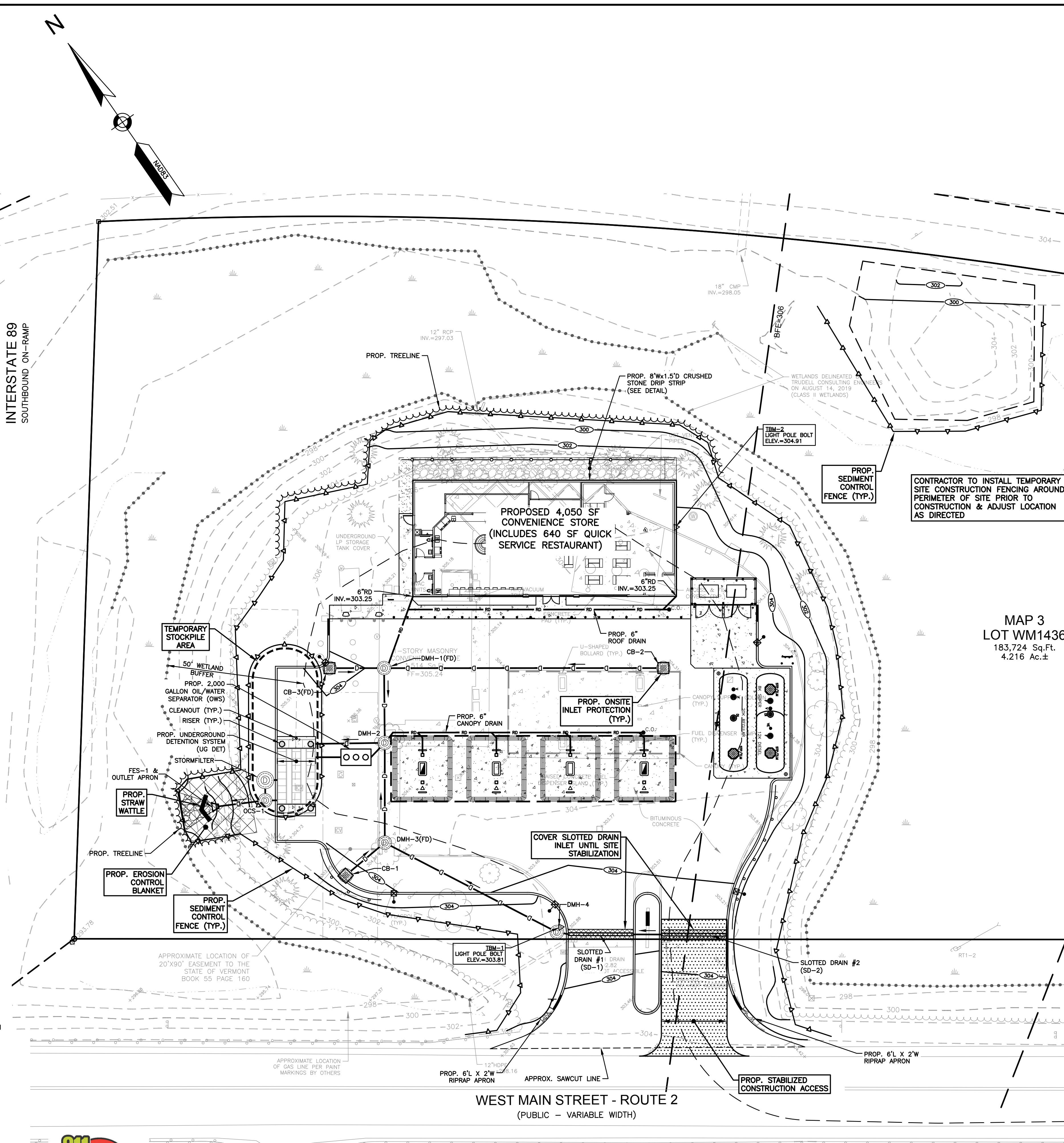
- 1) SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY ON-SITE CONSTRUCTION AS SHOWN. ADDITIONAL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED AS SOON AS PRACTICAL.
- 2) REMOVE AND STOCKPILE SOIL AS REQUIRED. STOCKPILE SHALL BE SURROUNDED WITH SILT FENCING TO PREVENT EROSION.
- 3) CONSTRUCT DRIVEWAYS AND PERFORM SITE GRADING.
- 4) INSTALL UNDERGROUND UTILITIES & DRAINAGE.
- 5) BEGIN TEMPORARY AND PERMANENT SEEDING AND MULCHING. ALL CUT AND FILL SLOPES SHALL BE SEED OR MULCHED IMMEDIATELY AFTER THEIR CONSTRUCTION.
- 6) DAILY, OR AS REQUIRED, CONSTRUCT, INSPECT, AND IF NECESSARY, RECONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, SILT FENCES, HAYBALES AND SEDIMENT TRAPS INCLUDING MULCHING AND SEEDING.
- 7) BEGIN EXCAVATION FOR AND CONSTRUCTION OF BUILDINGS.
- 8) FINISH PAVING ALL DRIVES AND PARKING AREAS. CLEAN ALL DRAINAGE STRUCTURES.
- 9) COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- 10) AFTER GRASS HAS BEEN FULLY GERMINATED IN ALL SEEDING AREAS, REMOVE ALL TEMPORARY EROSION CONTROL MEASURES.

WINTER STABILIZATION NOTES:

- MAINTENANCE REQUIREMENTS:**
 MAINTENANCE MEASURES SHOULD CONTINUE AS NEEDED THROUGHOUT CONSTRUCTION, INCLUDING THE OVER-WINTER PERIOD. AFTER EACH RAINFALL, SNOWSTORM, OR PERIOD OF THAWING AND RUNOFF, THE SITE CONTRACTOR SHOULD CONDUCT AN INSPECTION OF ALL INSTALLED EROSION CONTROL MEASURES AND PERFORM REPAIRS AS NEEDED TO INSURE THEIR CONTINUING FUNCTION. FOR ANY AREA STABILIZED BY TEMPORARY OR PERMANENT SEEDING PRIOR TO THE ONSET OF THE WINTER SEASON, THE CONTRACTOR SHOULD CONDUCT AN INSPECTION IN THE SPRING TO ASCERTAIN THE CONDITION OF VEGETATION COVER, AND REPAIR ANY DAMAGE AREAS OR BARE SPOTS AND RESEED AS REQUIRED TO ACHIEVE AN ESTABLISHED VEGETATIVE COVER (AT LEAST 85% OF AREA VEGETATED WITH HEALTHY, VIGOROUS GROWTH).
SPECIFICATIONS:
 TO ADEQUATELY PROTECT WATER QUALITY DURING COLD WEATHER AND DURING SPRING RUNOFF, THE FOLLOWING STABILIZATION TECHNIQUES SHOULD BE EMPLOYED DURING THE PERIOD FROM OCTOBER 15TH THROUGH MAY 15TH.
- 1) THE AREA OF EXPOSED, UNSTABILIZED SOIL SHOULD BE LIMITED TO ONE ACRE AND SHOULD BE PROTECTED AGAINST EROSION BY THE METHODS DESCRIBED IN THIS SECTION PRIOR TO ANY THAW OR SPRING MELT EVENT.
 - 2) STABILIZATION AS FOLLOWS SHOULD BE COMPLETED WITHIN A DAY OF ESTABLISHING THE GRADE THAT IS FINAL OR THAT OTHERWISE WILL EXIST FOR MORE THAN 5 DAYS.
 - A. ALL PROPOSED VEGETATED AREAS HAVING A SLOPE OF LESS THAN 15% WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHOULD BE SEEDING AND COVERED WITH 3 TO 4 TONS OF HAY OR STRAW MULCH PER ACRE SECURED WITH ANCHORED NETTING, OR 2 INCHES OF EROSION CONTROL MIX (SEE DESCRIPTION OF EROSION CONTROL MIX BERMS FOR MATERIAL SPECIFICATION).
 - B. ALL PROPOSED VEGETATED AREAS HAVING A SLOPE OF GREATER THAN 15% WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHOULD BE SEEDING AND COVERED WITH A PROPERLY INSTALLED AND ANCHORED EROSION CONTROL BLANKET OR WITH A MINIMUM 4 INCH THICKNESS OF EROSION CONTROL MIX UNLESS OTHERWISE SPECIFIED BY THE MANUFACTURER. NOTE THAT COMPOST BLANKETS SHOULD NOT EXCEED 2 INCHES IN THICKNESS OR THEY MAY OVERHEAT.
 - 3) ALL STONE-COVERED SLOPES MUST BE CONSTRUCTED AND STABILIZED BY OCTOBER 15.
 - 4) INSTALLATION OF ANCHORED HAY MULCH OR EROSION CONTROL MIX SHOULD NOT OCCUR OVER SNOW OF GREATER THAN ONE INCH IN DEPTH.
 - 5) ALL MULCH APPLIED DURING WINTER SHOULD BE ANCHORED (E.G., BY NETTING, TRACKING, WOOD CELLULOSE FIBER).
 - 6) STOCKPILES OF SOIL MATERIALS SHOULD BE MULCHED FOR OVER WINTER PROTECTION WITH HAY OR STRAW AT TWICE THE NORMAL RATE OR WITH A FOUR-INCH LAYER OF EROSION CONTROL MIX. MULCHING SHOULD BE DONE WITHIN 24 HOURS OF STOCKING, AND RE-ESTABLISHED PRIOR TO ANY RAINFALL OR SNOWFALL. NO SOIL STOCKPILE SHOULD BE PLACED (EVEN COVERED WITH MULCH) WITHIN 100 FEET FROM ANY WETLAND OR OTHER WATER RESOURCE AREA.
 - 7) FROZEN MATERIALS, (E.G., FROST LAYER THAT IS REMOVED DURING WINTER CONSTRUCTION), SHOULD BE STOCKPILED SEPARATELY AND IN A LOCATION THAT IS AWAY FROM ANY AREA NEEDING TO BE PROTECTED. STOCKPILES OF FROZEN MATERIAL CAN MELT IN THE SPRING AND BECOME UNWORKABLE AND DIFFICULT TO TRANSPORT DUE TO THE HIGH MOISTURE CONTENT IN THE SOIL.
 - 8) INSTALLATION OF EROSION CONTROL BLANKETS SHOULD NOT OCCUR OVER SNOW OF GREATER THAN ONE INCH IN DEPTH OR ON FROZEN GROUND.
 - 9) ALL GRASS-LINED DITCHES AND CHANNELS SHOULD BE CONSTRUCTED AND STABILIZED BY SEPTEMBER 1. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHOULD BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS, AS DETERMINED BY A QUALIFIED PROFESSIONAL ENGINEER OR A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL AS CERTIFIED BY THE VERMONT COUNCIL OF ENVIRONMENTAL ENGINEERS. IF A STONE LINING IS NECESSARY, THE CONTRACTOR MAY NEED TO RE-GRADE THE DITCH AS REQUIRED TO PROVIDE ADEQUATE CROSS-SECTION AFTER ALLOWING FOR PLACEMENT OF THE STONE.
 - 10) ALL STONE-LINED DITCHES AND CHANNELS MUST BE CONSTRUCTED AND STABILIZED BY OCTOBER 15.
 - 11) AFTER OCTOBER 15, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.
 - 12) SEDIMENT BARRIERS THAT ARE INSTALLED DURING FROZEN CONDITIONS SHOULD CONSIST OF EROSION CONTROL MIX BERMS, OR CONTINUOUS CONTAINED BERMS. SILT FENCES AND HAY BALES SHOULD NOT BE INSTALLED WHEN FROZEN CONDITIONS PREVENT PROPER EMBEDMENT OF THESE BARRIERS.

LEGEND

VCC	VERTICAL CONCRETE CURB	⊙	ROOF DRAIN
DSLY	DOUBLE SOLID LINE YELLOW	⊙	CLEANOUT
SSLW	SINGLE SOLID LINE WHITE	⊙	VENT
G	GAS LINE	⊙	SPOT ELEVATION
w	WATER LINE	90	CONTOUR ELEVATION
U	UTILITY POLE	—	METAL GUARDRAIL
GW	GUY WIRE	—	TREELINE
EM	ELECTRIC METER	⊙	TREE
⊙	MONITORING WELL	⊙	SIGN
⊙	LIGHT POLE	⊙	BOLLARD
—	OVERHEAD WIRE	⊙	WETLAND LINE
⊙	PULL BOX	—	DITCH LINE
⊙	GAS VALVE	—	EASEMENT LINE
⊙	CATCH BASIN	—	PROPERTY LINE
⊙	WELL	—	ABUTTER PROPERTY LINE
C.O.	PROP. CLEANOUT	—	BUILDING SETBACK
CB-1	PROP. CATCH BASIN	—	
DMH-1	PROP. DRAIN MANHOLE	—	
—	PROP. CONTOUR ELEVATION	—	
—	PROP. SILT FENCE	—	



EROSION CONTROL NOTES:

- 1) THE EROSION CONTROL PROCEDURES SHALL CONFORM TO THE VERMONT STANDARDS AND SPECIFICATIONS FOR EROSION CONTROL, 2019, OR LATEST EDITION.
- 2) DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED: THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT. WHEN LAND IS EXPOSED DURING DEVELOPMENT, THE EXPOSURE SHOULD BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME AS APPROVED BY THE ENGINEER. LAND SHOULD NOT BE LEFT EXPOSED DURING THE WINTER MONTHS.
- 3) ALL PERMANENT STORM WATER STRUCTURES SHALL BE STABILIZED PRIOR TO DIRECTING FLOW INTO THEM. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - A) BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED.
 - B) A MINIMUM OF 85 PERCENT VEGETATED GROWTH HAS BEEN ESTABLISHED.
 - C) A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP-RAP HAS BEEN INSTALLED.
 - D) OR, EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- 4) SILT FENCE SHALL BE INSTALLED AND MAINTAINED DURING AND AFTER DEVELOPMENT TO REMOVE SEDIMENT FROM RUNOFF WATER AND FROM LAND UNDERGOING DEVELOPMENT. WHERE POSSIBLE, NATURAL DRAINAGE WAYS SHOULD BE UTILIZED AND LEFT OPEN TO REMOVE EXCESS SURFACE WATER. SILT FENCE TO BE MAINTAINED AND CLEANED UNTIL ALL SLOPES HAVE A HEALTHY STAND OF GRASS.
- 5) ALL DISTURBED AREAS AND SIDE SLOPES WHICH ARE FINISHED GRADED, WITH NO FURTHER CONSTRUCTION TO TAKE PLACE, SHALL BE LOAMED AND SEEDING WITHIN 72 HOURS AFTER FINAL GRADING. A MINIMUM OF 4" OF LOAM SHALL BE INSTALLED WITH NOT LESS THAN ONE POUND OF SEED PER 50 SQUARE YARDS OF AREA. THE SEED MIX SHALL BE AS DESIGNATED BELOW.
- 6) ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY, AND WHICH WILL BE REGRADED LATER DURING CONSTRUCTION SHALL BE MACHINE HAY MULCHED AND SEEDING WITH RYE GRASS TO PREVENT EROSION. THE MAXIMUM LENGTH OF TIME FOR THE EXPOSURE OF DISTURBED SOILS SHALL BE 45 DAYS. HAY OR STRAW MULCH SHALL BE APPLIED TO ALL FRESHLY SEEDING AREAS AT THE RATE OF 2 TONS PER ACRE. BALES SHALL BE UNSPOILED, AIR DRIED, AND FREE FROM WEED SEEDS AND ANY COARSE MATERIAL.
- 7) DURING GRADING OPERATIONS INSTALL SEDIMENT CONTROL FENCE ALONG TOE OF SLOPE OF FILL AREAS WHERE SHOWN. BARRIERS ARE TO BE MAINTAINED UNTIL DISTURBED AREAS ARE PAVED OR GRASSED.
- 8) THE FILL MATERIAL SHALL BE OF APPROVED SOIL TYPE FREE FROM STUMPS, ROOTS, WOOD, ETC. TO BE PLACED IN 12" LIFTS OR AS SPECIFIED. BULLDOZERS, TRUCKS, TRACTORS, OR ROLLERS MAY BE USED FOR COMPACTION BY ROUTING THE EQUIPMENT TO ALL AREAS OR EACH LAYER.
- 9) AVOID THE USE OF FUTURE OPEN SPACES (LOAM & SEED) WHEREVER POSSIBLE DURING CONSTRUCTION. CONSTRUCTION TRAFFIC SHALL USE THE ROADBEDS OF FUTURE ROADS.

TEMPORARY EROSION CONTROL MEASURES:

- 1) THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME.
- 2) SEDIMENT CONTROL FENCE SHALL BE INSTALLED AS REQUIRED. FENCE IS TO BE MAINTAINED AND CLEANED UNTIL ALL SLOPES HAVE A HEALTHY STAND OF GRASS.
- 3) BALED HAY AND MULCH SHALL BE MOWING OF ACCEPTABLE HERBACEOUS GROWTH, FREE FROM NOXIOUS WEEDS OR WOODY STEMS, AND SHALL BE DRY. NO SALT HAY SHALL BE USED.
- 4) FILL MATERIAL SHALL BE FREE FROM STUMPS, WOOD, ROOTS, ETC.
- 5) STOCKPILED MATERIALS SHALL BE PLACED ONLY IN AREAS SHOWN ON THE PLANS. STOCKPILES SHALL BE PROTECTED BY SILT FENCING AND SEEDING TO PREVENT EROSION. THESE MEASURES SHALL REMAIN UNTIL ALL MATERIAL HAS BEEN PLACED OR DISPOSED OFF SITE.
- 6) ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDING. A MINIMUM OF 4 INCHES OF LOAM SHALL BE INSTALLED WITH NOT LESS THAN ONE POUND OF SEED PER 50 SQUARE YARDS OF AREA.
- 7) SEED MIX SHALL BE EQUAL PARTS OF RED FESCUE (CREEPING), KENTUCKY BLUE GRASS, REDTOP, PERENNIAL RYEGRASS.
- 8) AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, THE TEMPORARY EROSION CONTROL MEASURES ARE TO BE REMOVED.
- 9) PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
- 10) ALL CATCH BASIN INLETS WILL BE PROTECTED WITH INLET PROTECTION.
- 11) ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED AND CLEANED AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
- 12) ALL Dewatering OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTER AREA.
- 13) TO PREVENT TRACKING OF SEDIMENT ONTO THE EXISTING ROADS, ALL CONSTRUCTION TRAFFIC CAN ONLY EXIT THE SITE OVER THE CONSTRUCTION ENTRANCES SHOWN ON THIS PLAN.

GPI Engineering Design Planning Construction Management
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 44 Stiles Road, Suite One
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PREPARED FOR
SUMMIT DISTRIBUTING, LLC
 240 MECHANIC STREET
 LEBANON, NH 03766

PROPOSED REDEVELOPMENT
ASSESSORS MAP 3 LOT WM1436
1436 WEST MAIN STREET
RICHMOND, VERMONT

MAP 3
LOT WM1436
 183,724 Sq.Ft.
 4.216 Ac.±

7/6/23

REVISIONS		
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2	REV. DRAINAGE	7/6/23
1	MISC. REVISIONS	3/23/23
JUNE 22, 2022		
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SJB		HS

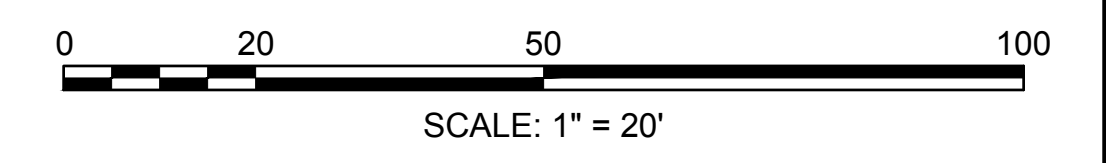
EROSION & SEDIMENT CONTROL PLAN

SCALE: 1"=20'

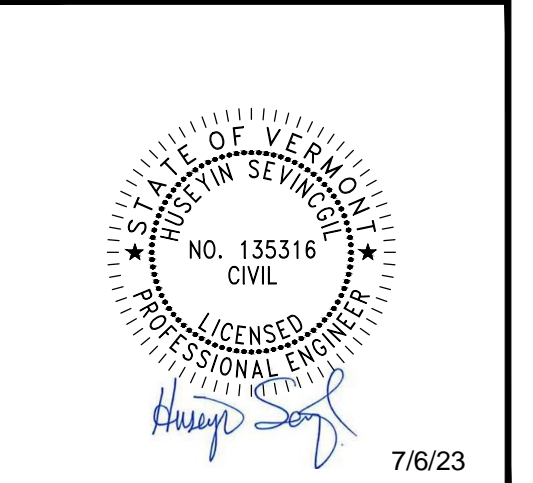
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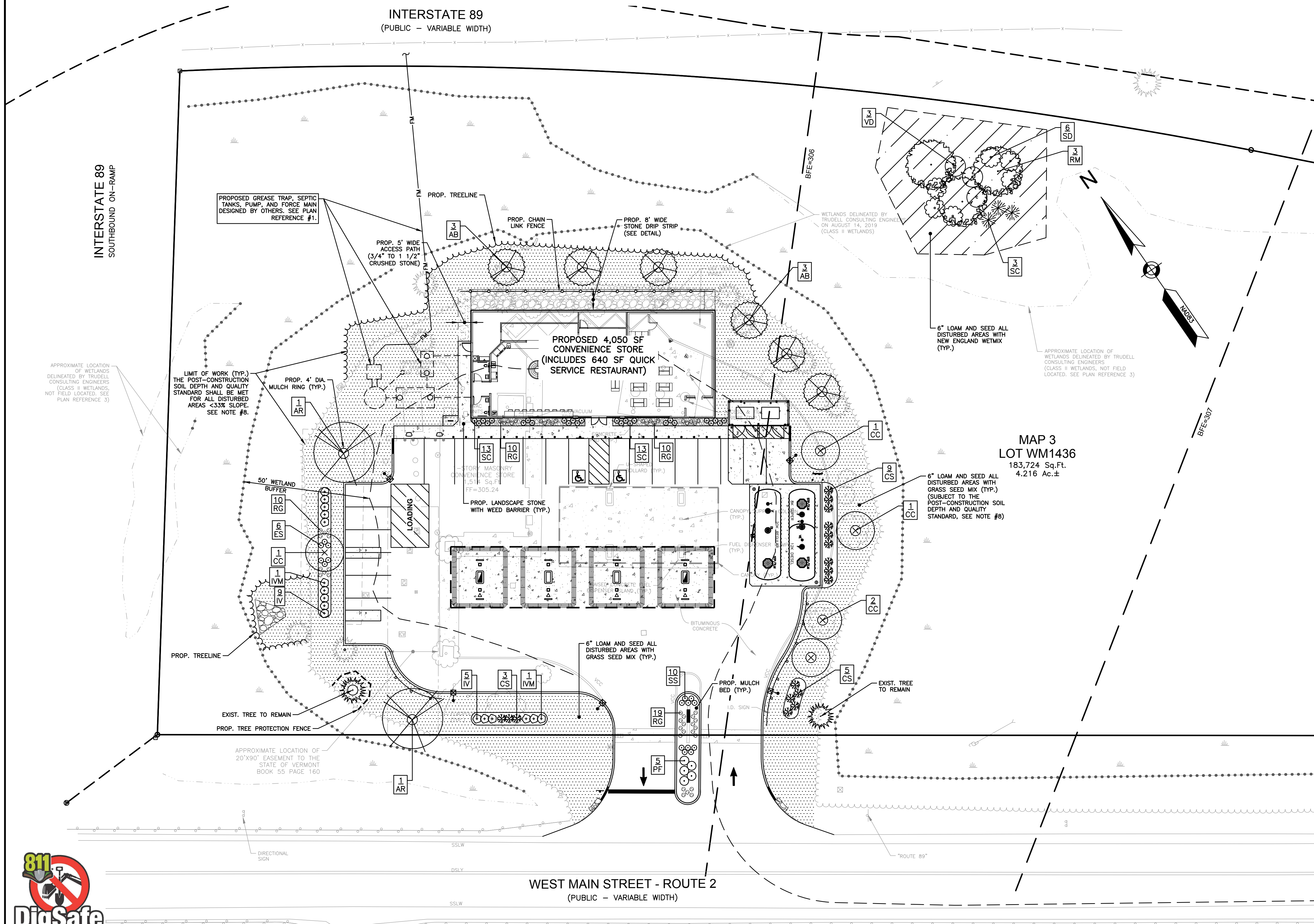
**PROPOSED REDEVELOPMENT
ASSESSORS MAP 3 LOT WM1436
1436 WEST MAIN STREET
RICHMOND, VERMONT**



NOTES:

- ALL PLANT STOCK SHALL CONFORM TO ANSI Z260.1 - NURSERY STOCK, LATEST EDITION (AMERICAN ASSOCIATION OF NURSERYMEN, INC.).
- A 4" DIA. TREE RING WITH 3" AGED PINE BARK MULCH SHALL BE INSTALLED AT BASE OF ALL TREES IN LAWN AREAS.
- UNLESS NOTED OTHERWISE, 3" AGED PINE BARK MULCH SHALL BE APPLIED TO SHRUB BEDS AND 1" AGED PINE BARK MULCH SHALL BE APPLIED TO PERENNIAL BEDS.
- LANDSCAPE STONE SHALL BE TAN RIVERBED STONE. STONE SHALL BE (1/2) INCHES IN DIAMETER AND APPLIED AT A THICKNESS OF (4) INCHES DEEP. ALL FINES SHALL BE SCREENED FROM THE AGGREGATE. THE MATERIAL SHALL BE FREE OF ORGANIC AND INORGANIC DEBRIS AND TRASH. SUBMIT SAMPLE IN A 5-GALLON BUCKET TO THE DEVELOPER FOR APPROVAL.
- A WEED BARRIER (TY-PAR FABRIC OR APPROVED EQUAL) SHALL BE APPLIED TO ALL PLANTING BEDS UNLESS NOTED OTHERWISE. INSTALL WEED BARRIER AS PER MANUFACTURERS' RECOMMENDATIONS.
- THE CONTRACTOR SHALL PROVIDE TESTING OF SOILS IN PLANTING LOCATIONS. THE CONTRACTOR SHALL PROVIDE TEST RESULTS AND RECOMMENDATIONS AS NECESSARY FOR SOIL AMENDMENT TO THE ENGINEER FOR THEIR APPROVAL. BACKFILL SHALL BE A BLEND OF ONE-PART LOAM BORROW, ONE PART ORGANIC MATERIAL AND TWO-PARTS EXISTING SUBSOIL.
- ALL LANDSCAPED AREAS NOT PLANTED WITH TREES, SHRUBS OR GROUNDCOVER SHALL BE RESTORED WITH SEED AS INDICATED ON PLANS.
- ALL LAWN SEED, SHRUB AND TREE AREAS SHALL RECEIVE 6" PH CORRECTED TOPSOIL. THE MINIMUM ORGANIC MATTER CONTENT OF THE TOPSOIL SHALL BE 4%. AFTER TOPSOIL IS SPREAD EVENLY OVER ENTIRE AREA, ALL CLODS, LUMPS, STONES AND OTHER DELETERIOUS MATERIAL SHALL BE RAKED UP AND REMOVED. ALL LOAM OR TOPSOIL IMPORTED OR RE-UTILIZED FROM ON SITE SHALL BE TESTED AND AMENDED AS RECOMMENDED BY TESTING LABORATORY TO MEET MINIMUM REQUIREMENTS. TOPSOIL DEPTH AND QUALITY SHALL BE ESTABLISHED NEAR THE END OF CONSTRUCTION, AND ONCE ESTABLISHED, BE PROTECTED FROM COMPACTION.
- CONTRACTOR TO SAMPLE TOPSOIL AT THE COMPLETION OF CONSTRUCTION. NINE TEST HOLES PER ACRE SHALL BE DUG USING A SHOVEL DRIVEN SOLELY BY THE INSPECTOR'S WEIGHT AND SHALL BE AT LEAST 50 FEET APART. EACH HOLE SHALL BE APPROXIMATELY 8-INCHES DEEP. VERIFY A MINIMUM OF 4-INCHES OF TOPSOIL IS PROVIDED AND AMEND TOPSOIL IF NEEDED.
- NEW ENGLAND WETMIX SHALL CONTAIN THE FOLLOWING SPECIES: FOX SEDGE (CAREX VULPINOIDEA), LURID SEDGE (CAREX LURIDA), BLUNT BROOM SEDGE (CAREX SCOPARIA), BLUE VERVAIN (VERBENA HASTATA), FOWL BLUEGRASS (POA PALUSTRIS), HOP SEDGE (CAREX LUPULINA), GREEN BULRUSH (SCIRPUS ATROVIRENS), CREEPING SPIKE RUSH (ELEOCHARIS PALUSTRIS), FRINGED SEDGE (CAREX CRINITA), SOFT RUSH (JUNCUS EFFUSUS), SPOTTED JOE PYE WEED (EUPATORIUM MACULATUM), RATTLESNAKE GRASS (GLYCERIA CANADENSIS), SWAMP ASTER (ASTER PUNICEUS), BLUEFLAG (IRIS VERSICOLOR), SWAMP MILKWEED (ASCLEPIAS INCARNATA), SQUARE STEMMED MONKEY FLOWER (MIMULUS RINGENS)
- APPLICATION OF GRASS SEED, FERTILIZERS AND STRAW MULCH SHALL BE ACCOMPLISHED BY BROADCAST SEEDING OR HYDROSEEDING AT THE RATES OUTLINED BELOW:
LIMESTONE: 100 LBS./1,000 SQUARE FEET.
FERTILIZER: 500 LBS./ACRE OF 10-20-20 OR 1000 LBS./ACRE OF 5-10-10.
STRAW MULCH: APPROXIMATELY 3 TONS/ACRE
NEW ENGLAND WETMIX: 1 LB./2,500 SQUARE FEET
SEED MIX (SLOPES LESS THAN 4:1) LBS./ACRE
 CREEPING RED FESCUE 20
 TALL FESCUE 15
 PERENNIAL RYEGRASS 5
 REDTOP 42
- FOR TEMPORARY EROSION CONTROL NOTES, SEE EROSION & SEDIMENT CONTROL PLAN.
- NEWLY GRADED AREAS REQUIRING SLOPE PROTECTION OUTSIDE OF NORMAL SEEDING SEASON SHALL RECEIVE STRAW MULCH AT THE APPROXIMATE RATE OF NO MORE THAN 3 TONS PER ACRE.
- ANY CHANGES IN PLANT LOCATIONS OR TYPES SHALL BE APPROVED BY THE DEVELOPER, LANDOWNER AND TOWN PRIOR TO INSTALLATION.
- CLEAR AND GRUB (TO LIMITS REQUIRED ON GRADING PLAN) TO REMOVE VEGETATION, TREES, ROCKS, DEBRIS, ROOTS, ETC. STUMPS SHALL BE REMOVED AND DISPOSED OF OFF SITE IN ACCORDANCE WITH STATE REGULATIONS. AFTER CLEARING, STRIP AND STOCKPILE ALL ON-SITE TOPSOIL FOR REUSE TO THE MAXIMUM EXTENT POSSIBLE.
- PLANTINGS SHALL BE GUARANTEED BY THE CONTRACTOR FOR ONE YEAR AFTER WRITTEN ACCEPTANCE BY THE DEVELOPER.
- EXPOSED SOILS SHALL BE SEEDED OR STRAW MULCHED WITHIN 72 HOURS OF FINAL GRADING.
- SEE GRADING & DRAINAGE PLAN FOR ELEVATIONS OF LANDSCAPED AREAS.

REVISIONS		
NO.	REVISION	DATE
2	REV. PLANTINGS PER ANR COMMENT	7/6/23
1	REV. PLANT LIST TO NATIVE SPECIES	3/23/23
JUNE 22, 2022		
DRAWN/DESIGN BY		CHECKED BY
SJB		HS

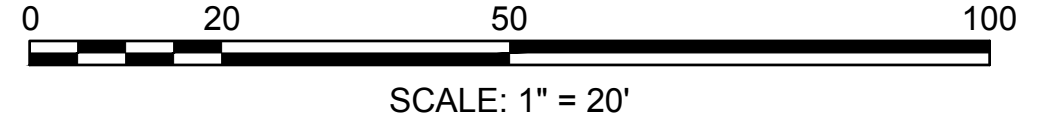


LEGEND

VCC	VERTICAL CONCRETE CURB	⊙	ROOF DRAIN
DSLY	DOUBLE SOLID LINE YELLOW	⊙	CLEANOUT
SSW	SINGLE SOLID LINE WHITE	⊙	VENT
c	GAS LINE	⊙	SPOT ELEVATION
w	WATER LINE	90	CONTOUR ELEVATION
U	UTILITY POLE	—	METAL GUARDRAIL
W	GUY WIRE	—	TREELINE
EM	ELECTRIC METER	—	TREE
M	MONITORING WELL	—	SIGN
L	LIGHT POLE	—	BOLLARD
OW	OVERHEAD WIRE	—	WETLAND LINE
PB	PULL BOX	—	DITCH LINE
V	GAS VALVE	—	EASEMENT LINE
C	CATCH BASIN	—	PROPERTY LINE
W	WELL	—	ABUTTER PROPERTY LINE
		—	BUILDING SETBACK

PLANT	QNTY	BOTANICAL NAME	COMMON NAME	MIN. INSTALL SIZE	REMARKS
TREES					
AR	6	ABIES BALSAMEA	BALSAM FIR	6" - 7" HT.	
AR	2	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2" - 2 1/2" CAL., B&B	
CC	5	CRATAEGUS CRUS-GALLI INERMIS CRUSADER	CRUSADER HAWTHORN	2" - 2 1/2" CAL., B&B THORNLESS	
SHRUBS					
CS	17	CORNUS SERICEA 'FARROW'	ARCTIC FIRE RED TWIG DOGWOOD	2"-3" HT., 3 GAL.	
IV	14	ILEX VERTICILLATA 'RED SPRITE'	RED SPRITE WINTERBERRY	2"-3" HT., 3 GAL.	
IVM	2	ILEX VERTICILLATA 'JIM DANDY'	JIM DANDY WINTERBERRY	2"-3" HT., 3 GAL.	
PF	5	POTENTILLA FRUTICOSA 'GOLDSTAR'	GOLDSTAR POTENTILLA	2"-3" HT., 3 GAL.	
PERENNIALS & GRASSES					
RG	49	RUDBECKIA FULGIDA 'LITTLE GOLDSTAR'	LITTLE GOLDSTAR BLACK-EYED SUSAN	1 GAL.	
AR	6	ERAGROSTIS SPECTABILIS	PURPLE LOVEGRASS	1 GAL.	
SC	26	SCHIZACHYRIUM SCOPARIUM 'CAROUSEL'	CAROUSEL LITTLE BLUESTEM	1 GAL.	
SS	10	SCHIZACHYRIUM SCOPARIUM 'PRAIRIE BLUES'	PRAIRIE BLUES LITTLE BLUESTEM	1 GAL.	
RIPARIAN PLANTING					
RM	3	ACER RUBRUM	RED MAPLE	1" - 1 1/2" CAL., 15 GAL.	
SD	6	CORNUS AMOMIUM	SILKY DOGWOOD	2"-3" HT., 3 GAL.	
SC	3	SAMBUCUS CANADENSIS	ELDERBERRY	2"-3" HT., 3 GAL.	
VD	3	VIBURNUM DENTATUM	ARROWWOOD VIBURNUM	2"-3" HT., 3 GAL.	

1	PLANT QUANTITY	PROP. LOAM AND SEED	PROP. 3/4"-1 1/2" CRUSHED STONE	PROP. LANDSCAPE STONE	PROP. NEW ENGLAND WETMIX
XX	PLANT DESIGNATION				

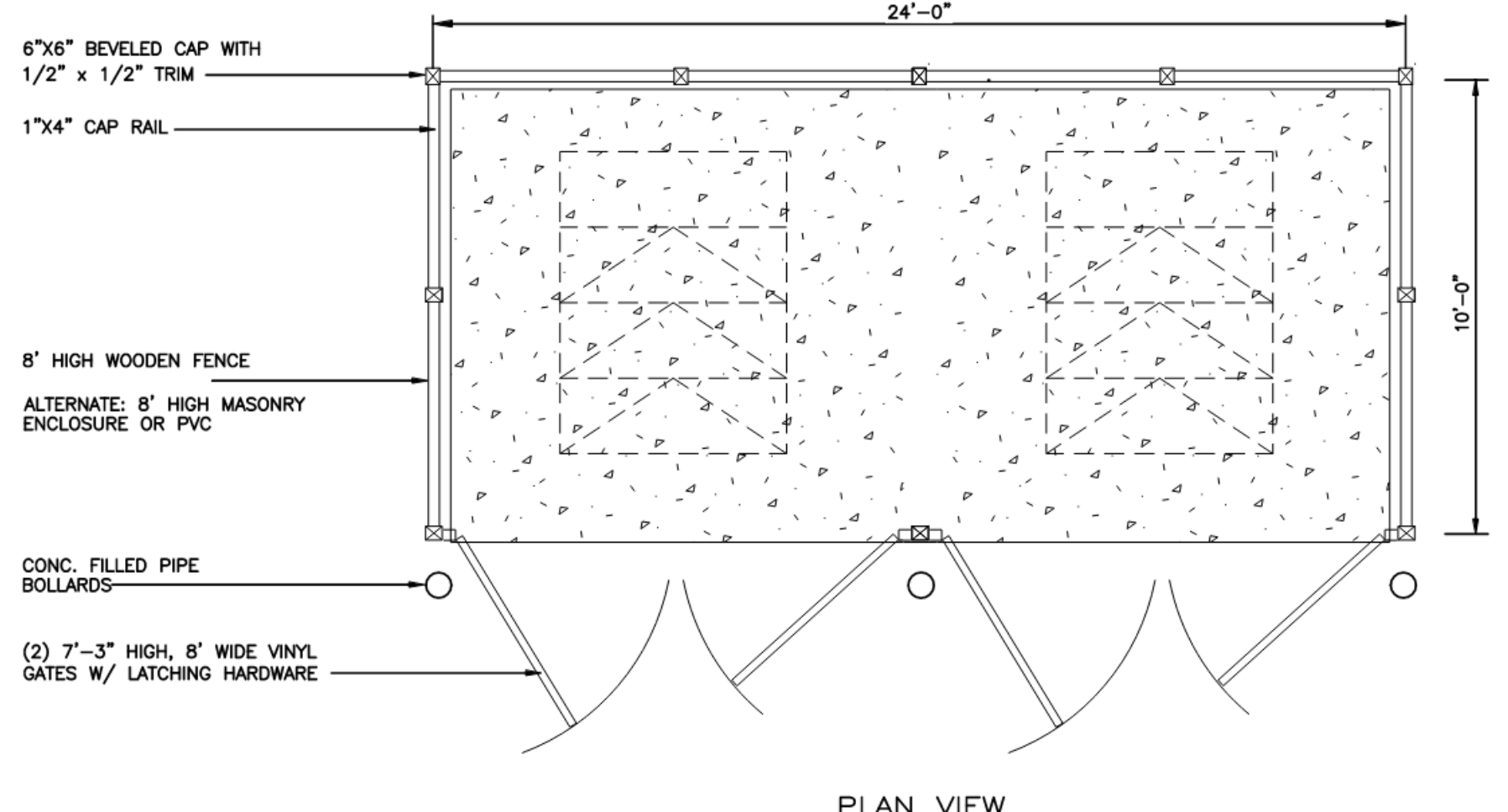
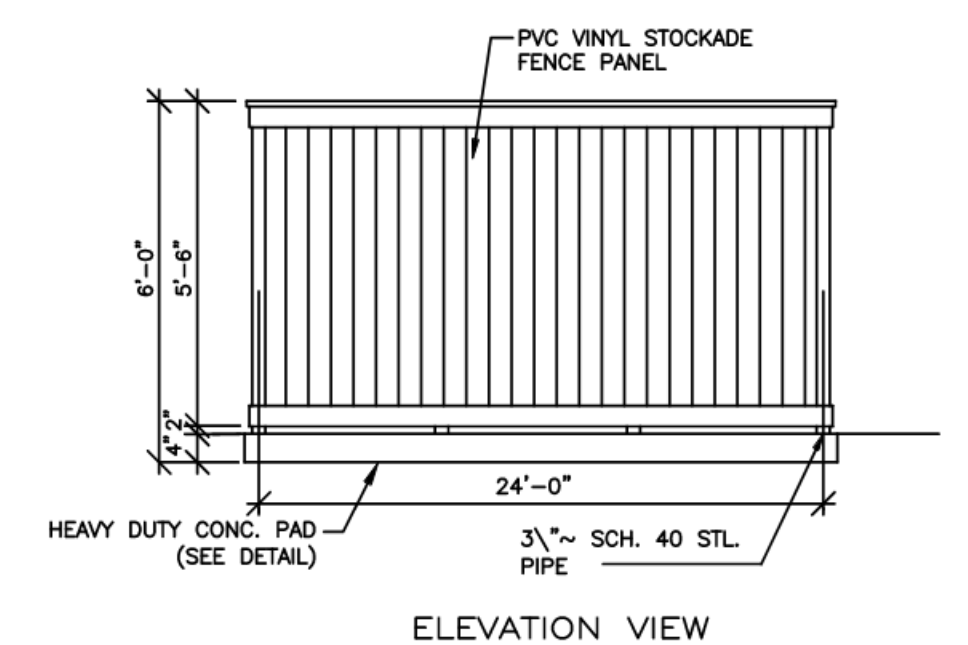


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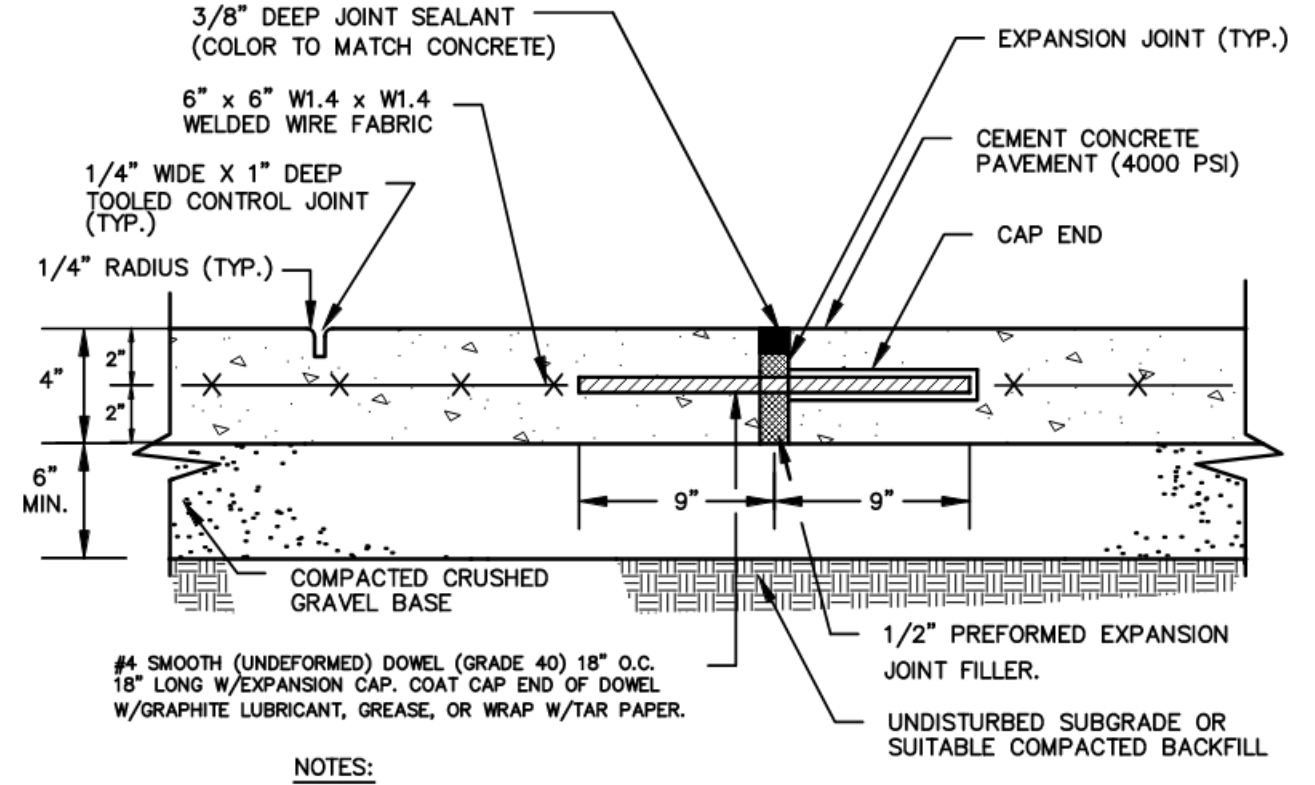
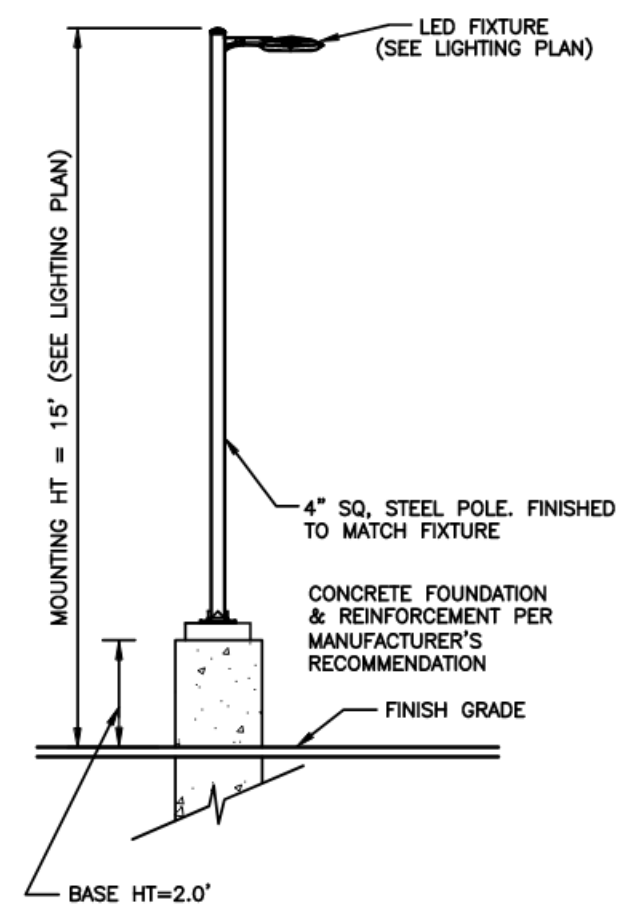


REVISIONS		
NO.	REVISION	DATE
1	MISC. REVISIONS	3/23/23

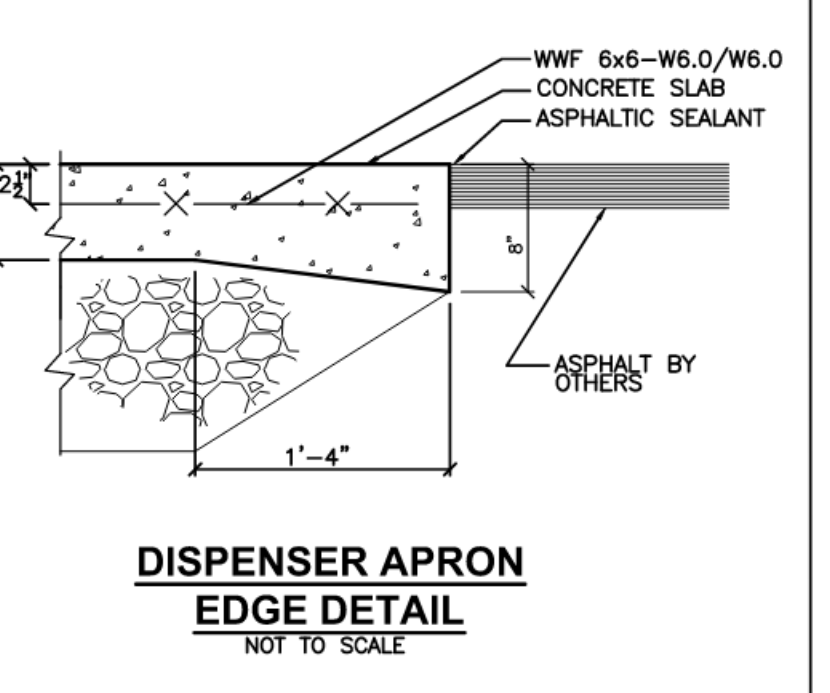
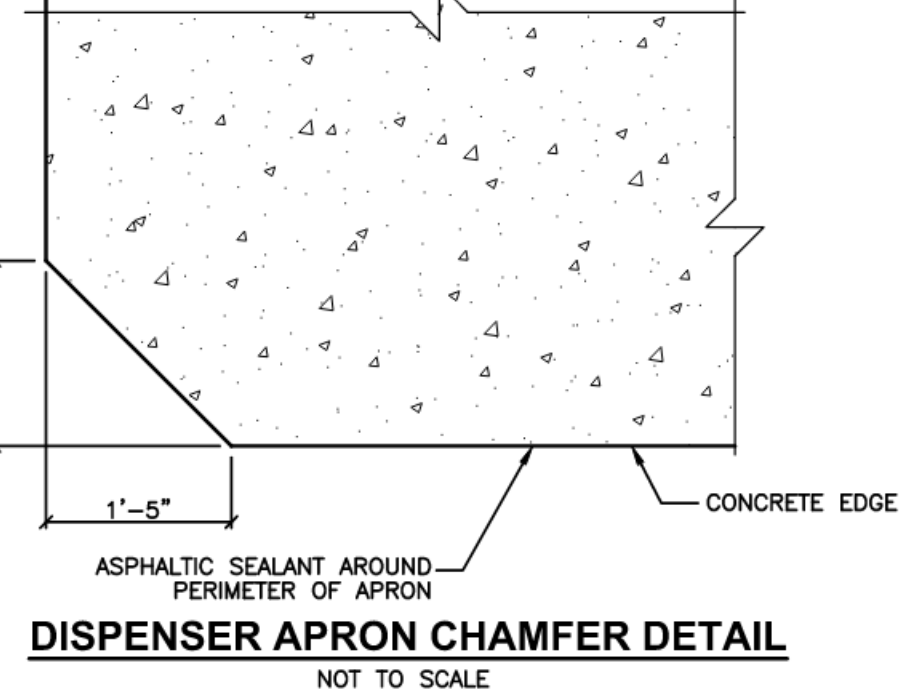
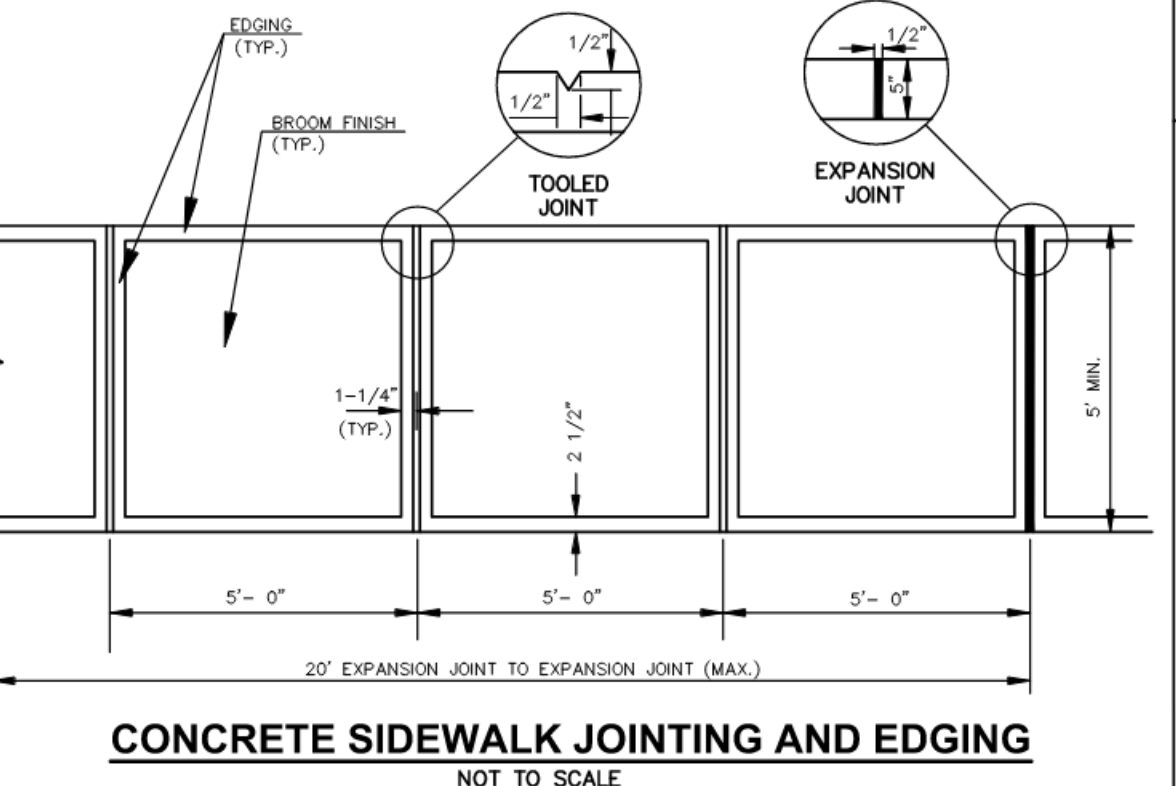
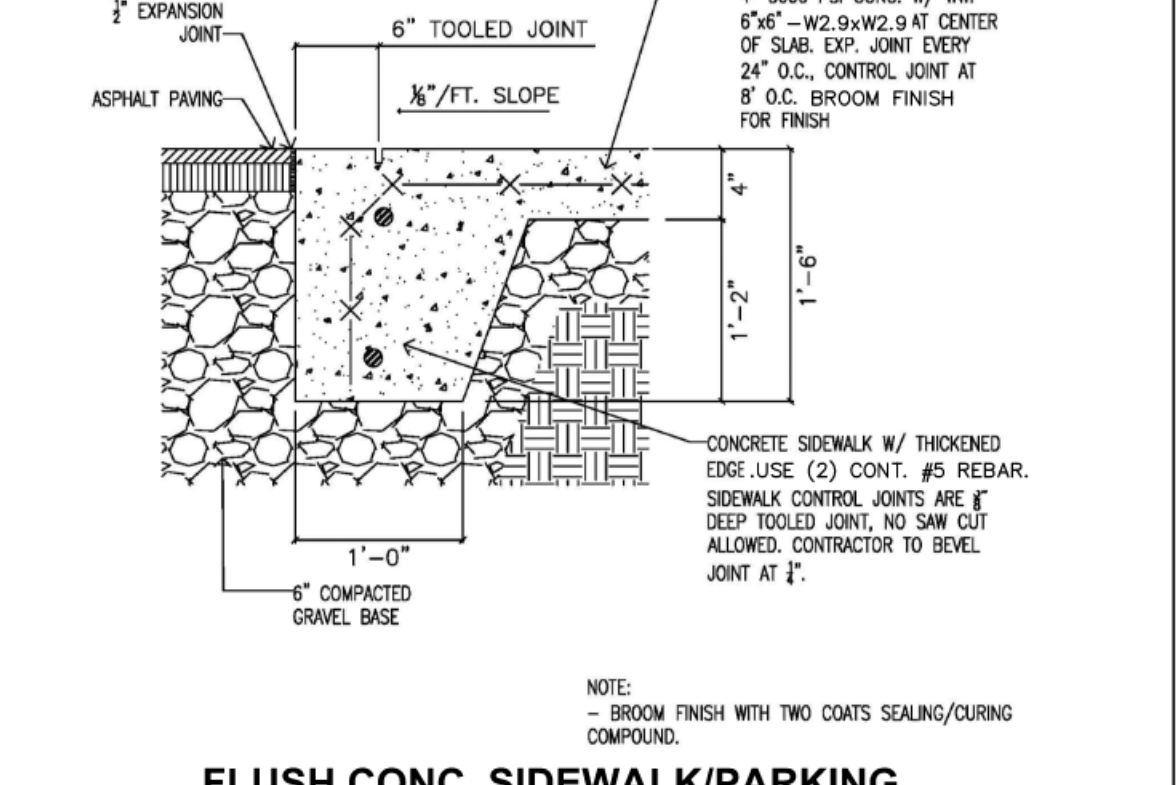
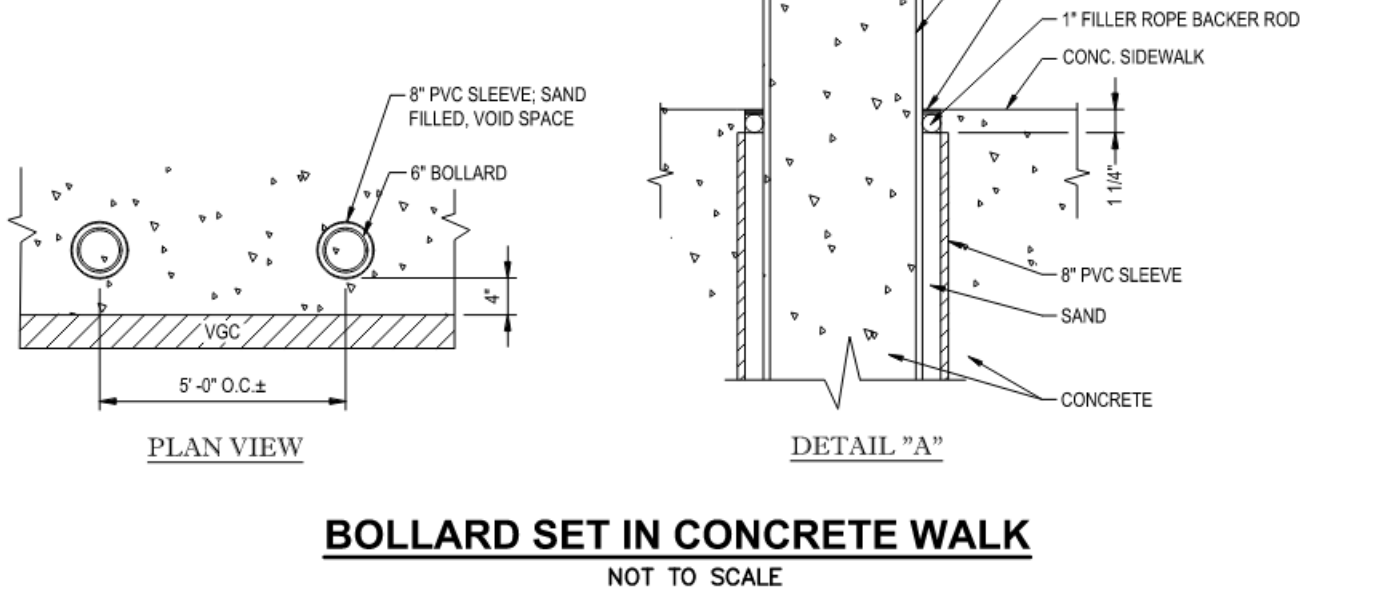
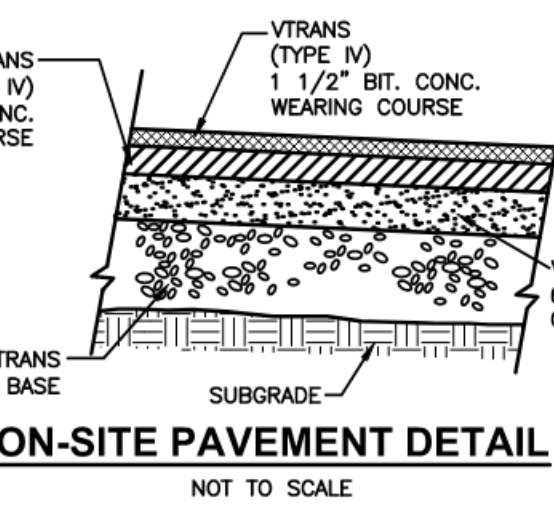
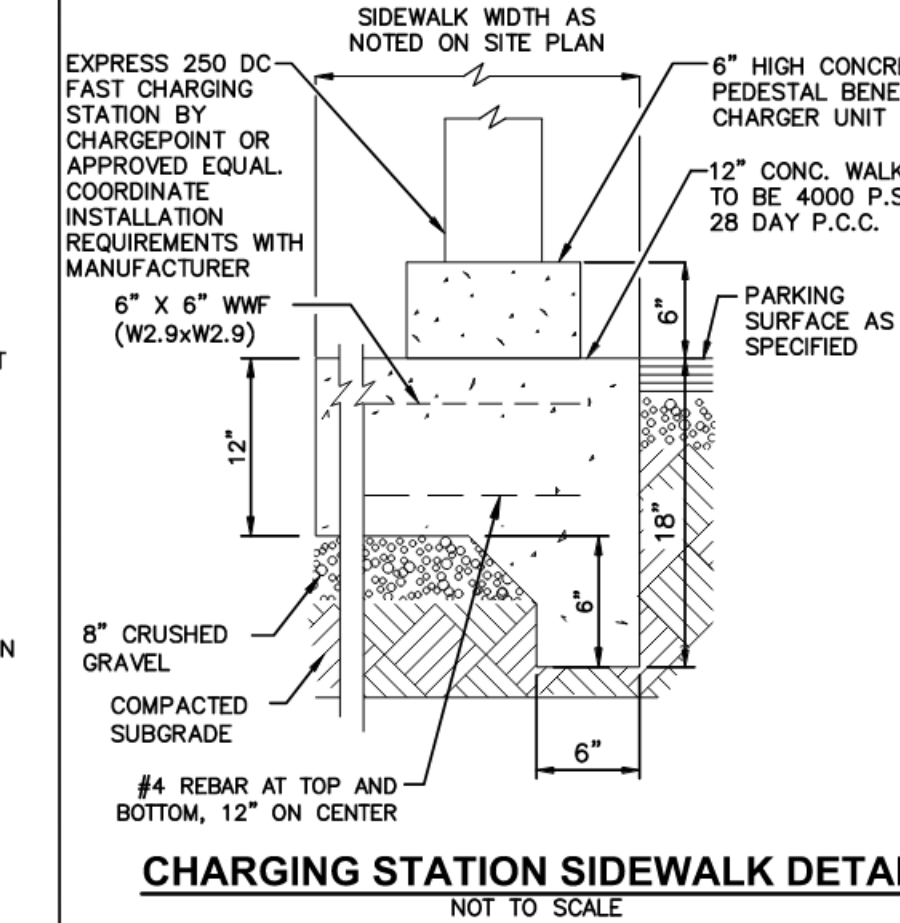
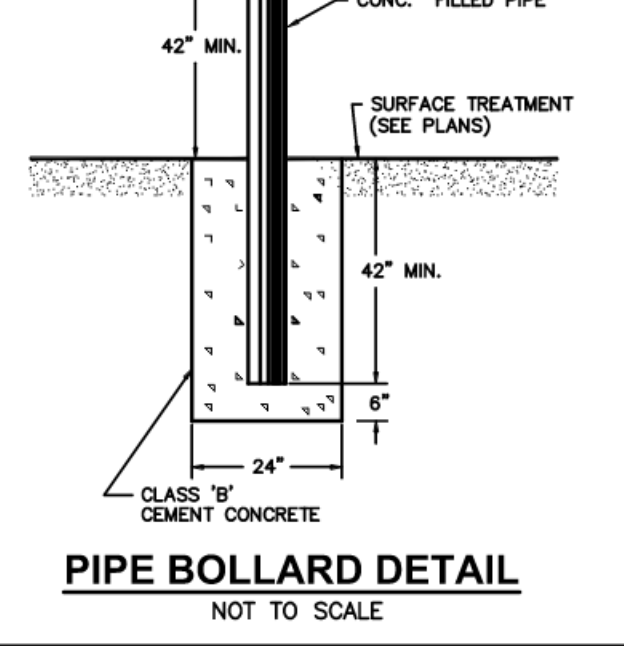
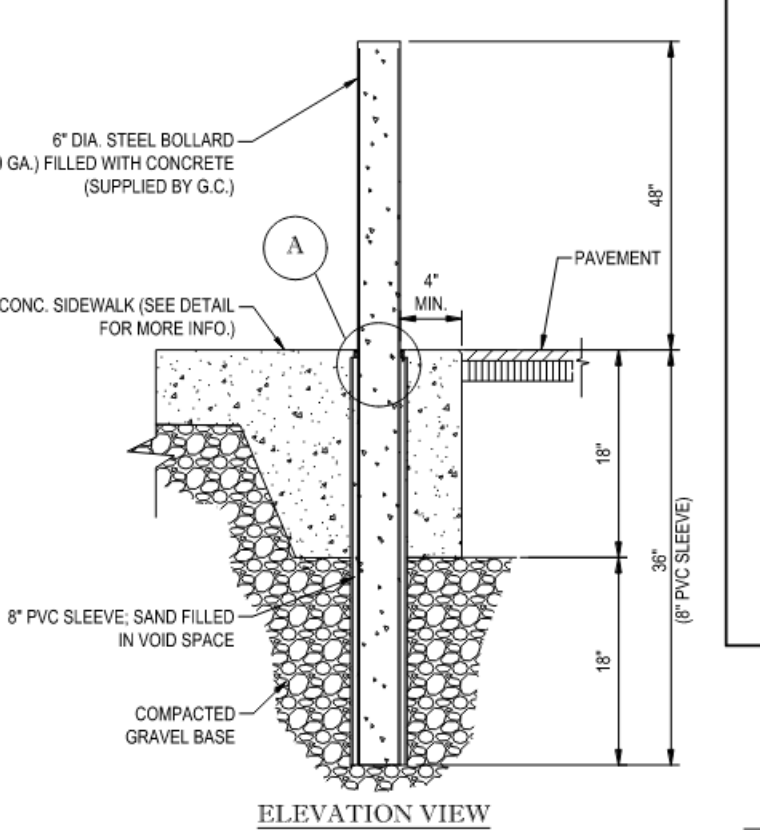
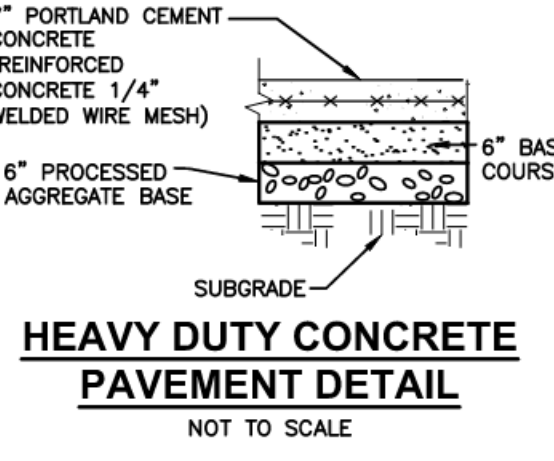
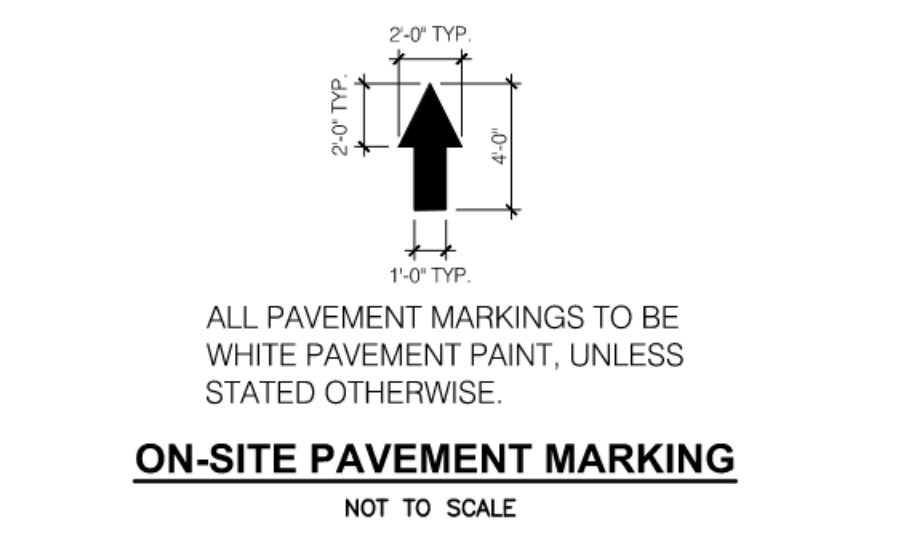
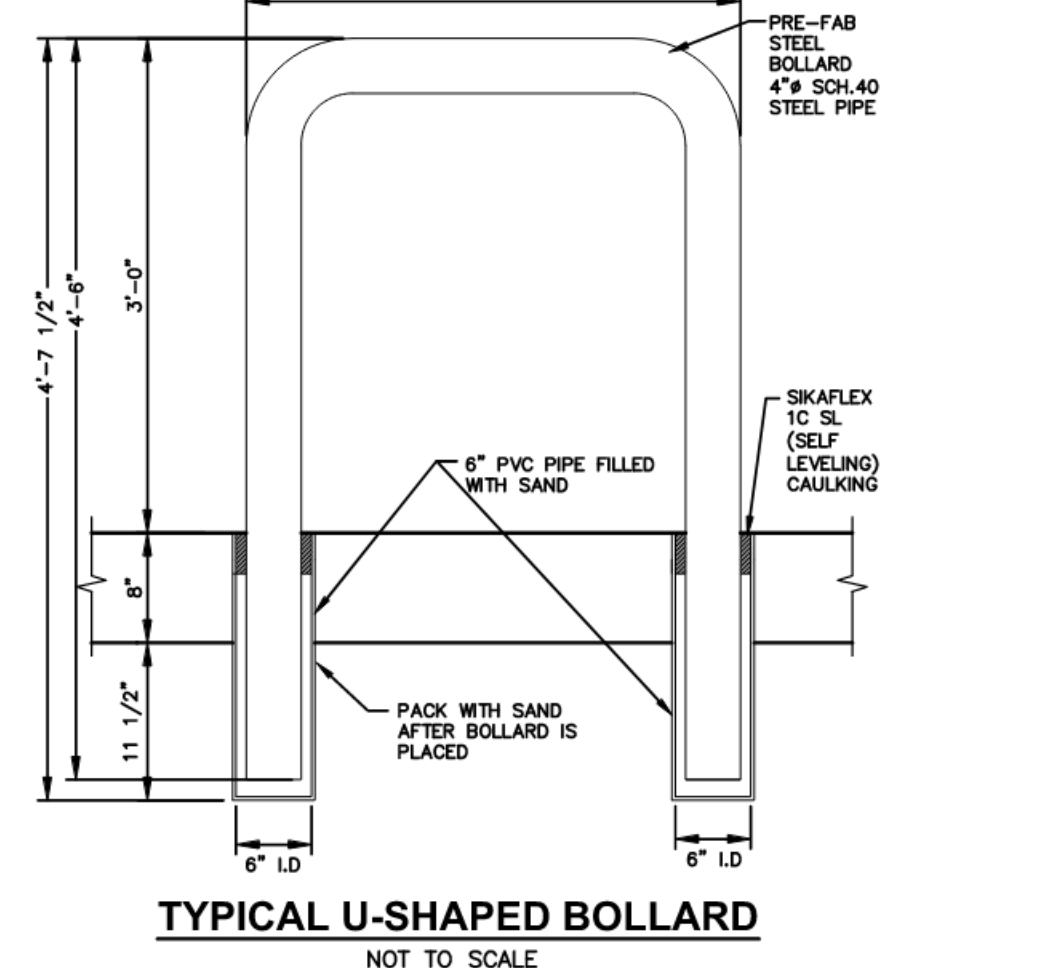
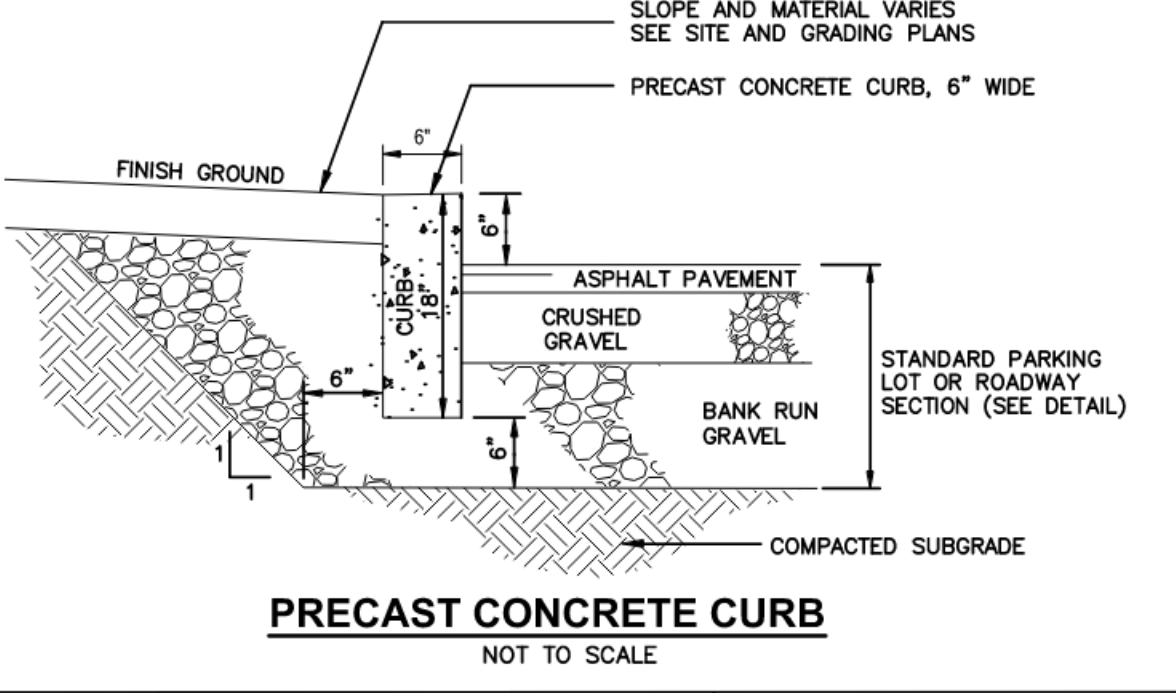
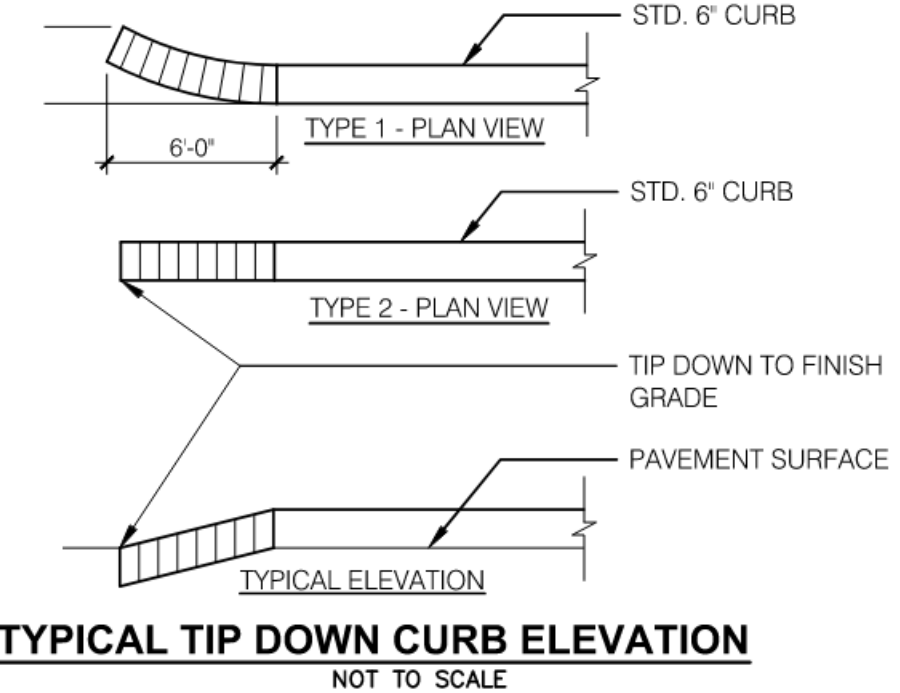
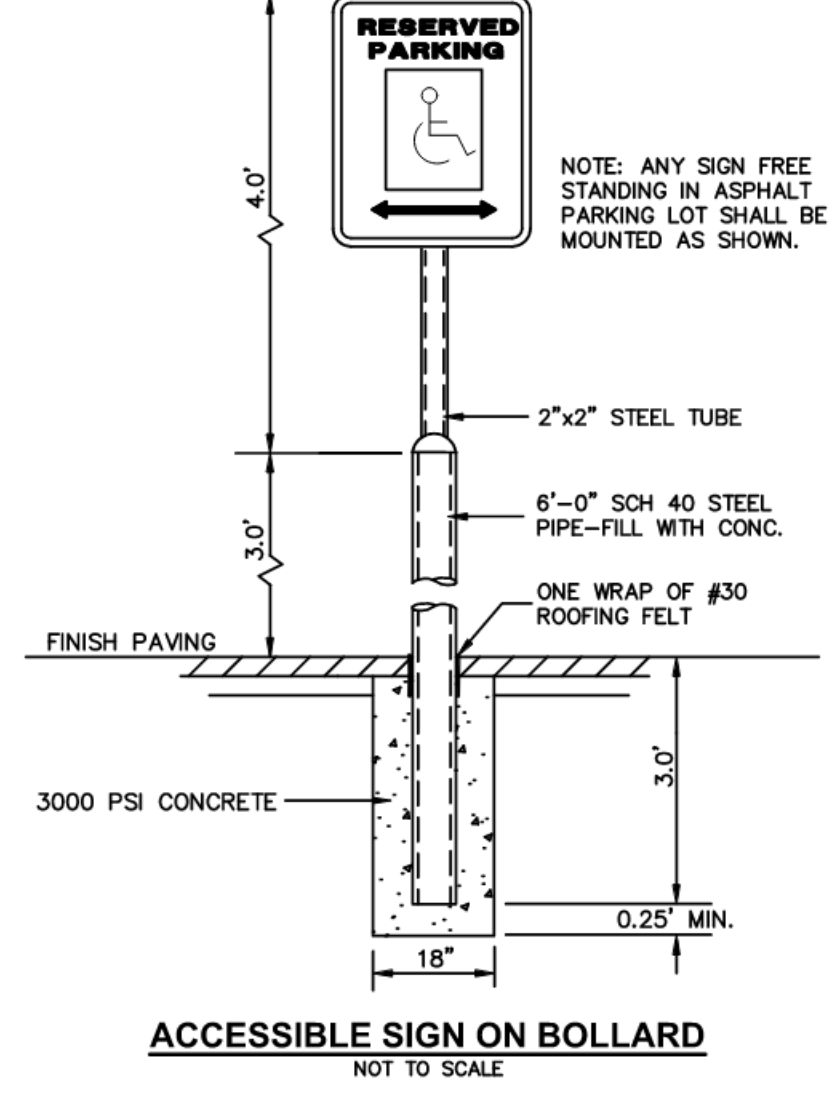
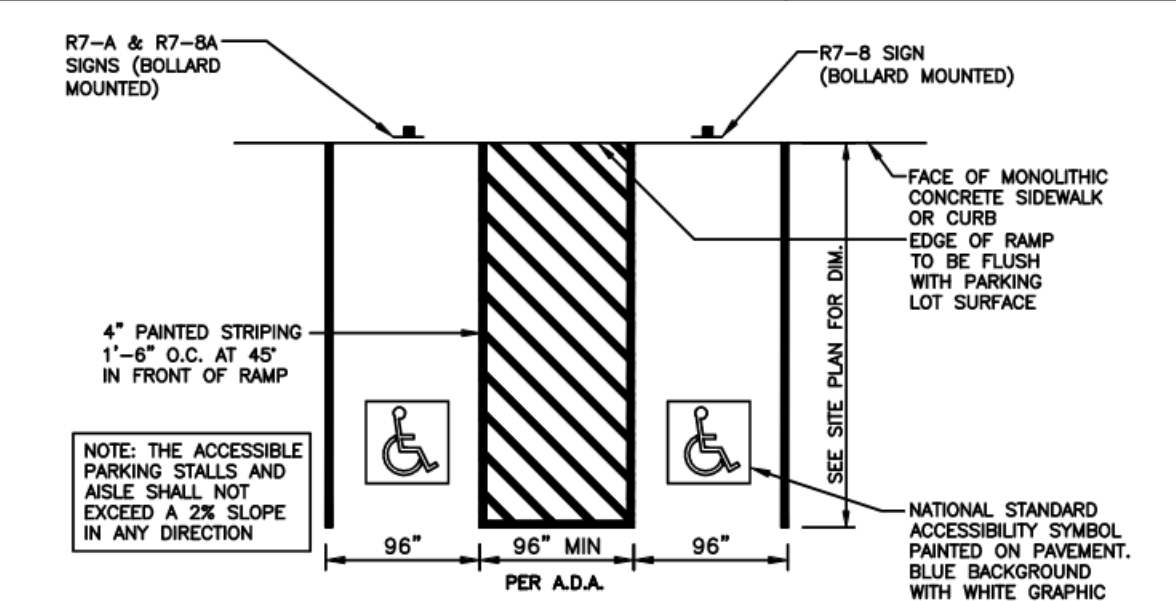
JUNE 22, 2022
 DRAWN/DESIGN BY: SJB CHECKED BY: HS



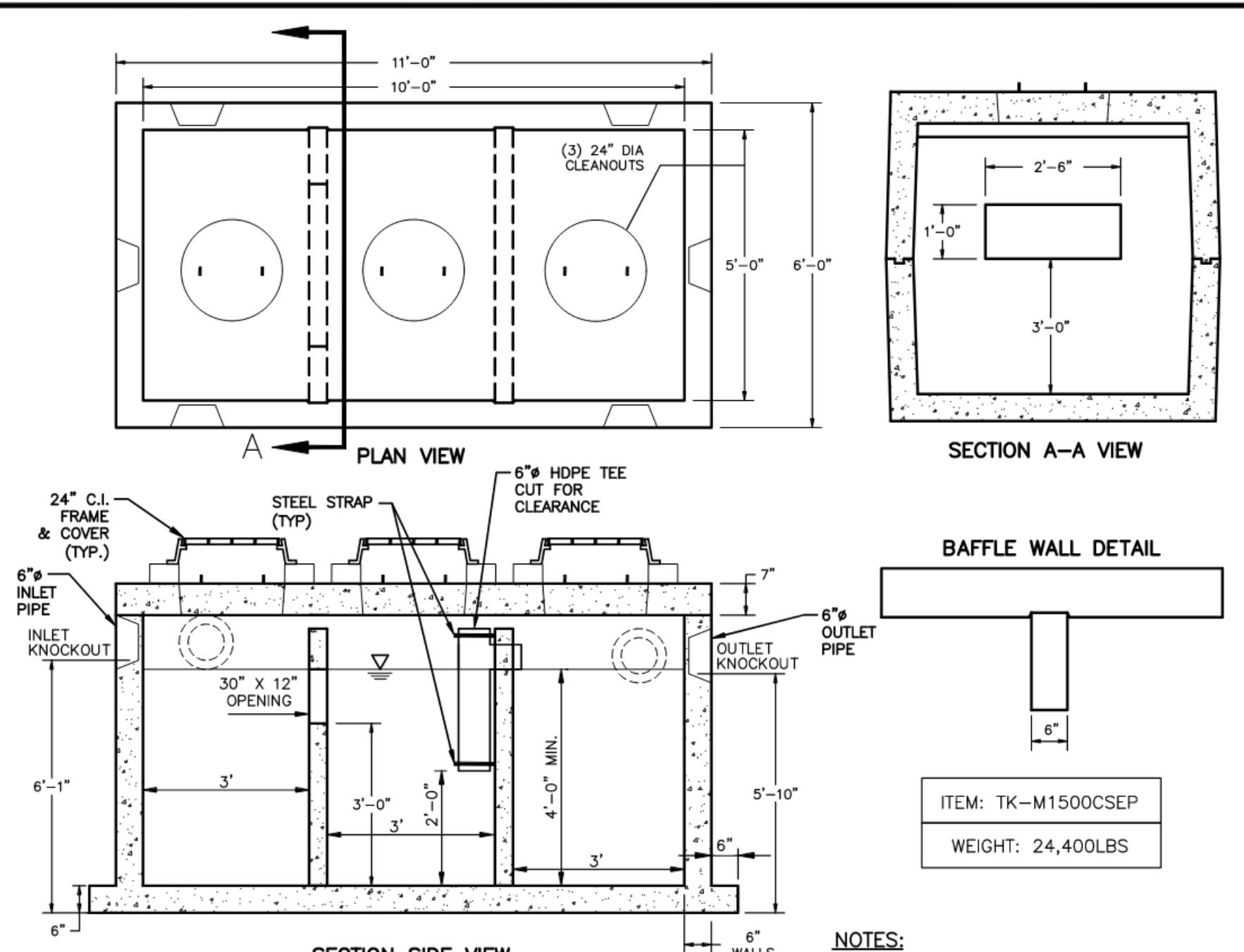
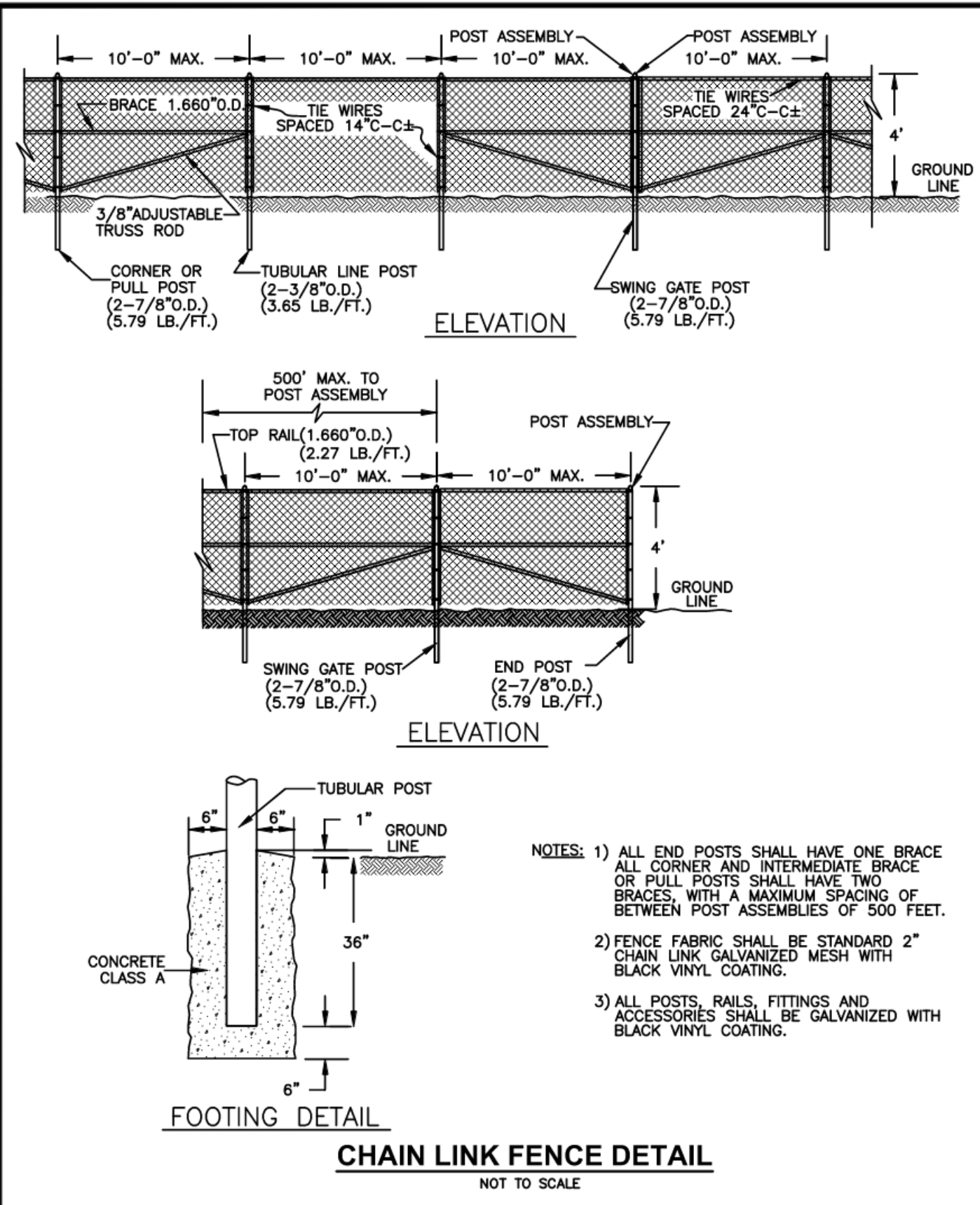
VINYL FENCE TRASH ENCLOSURE DETAIL
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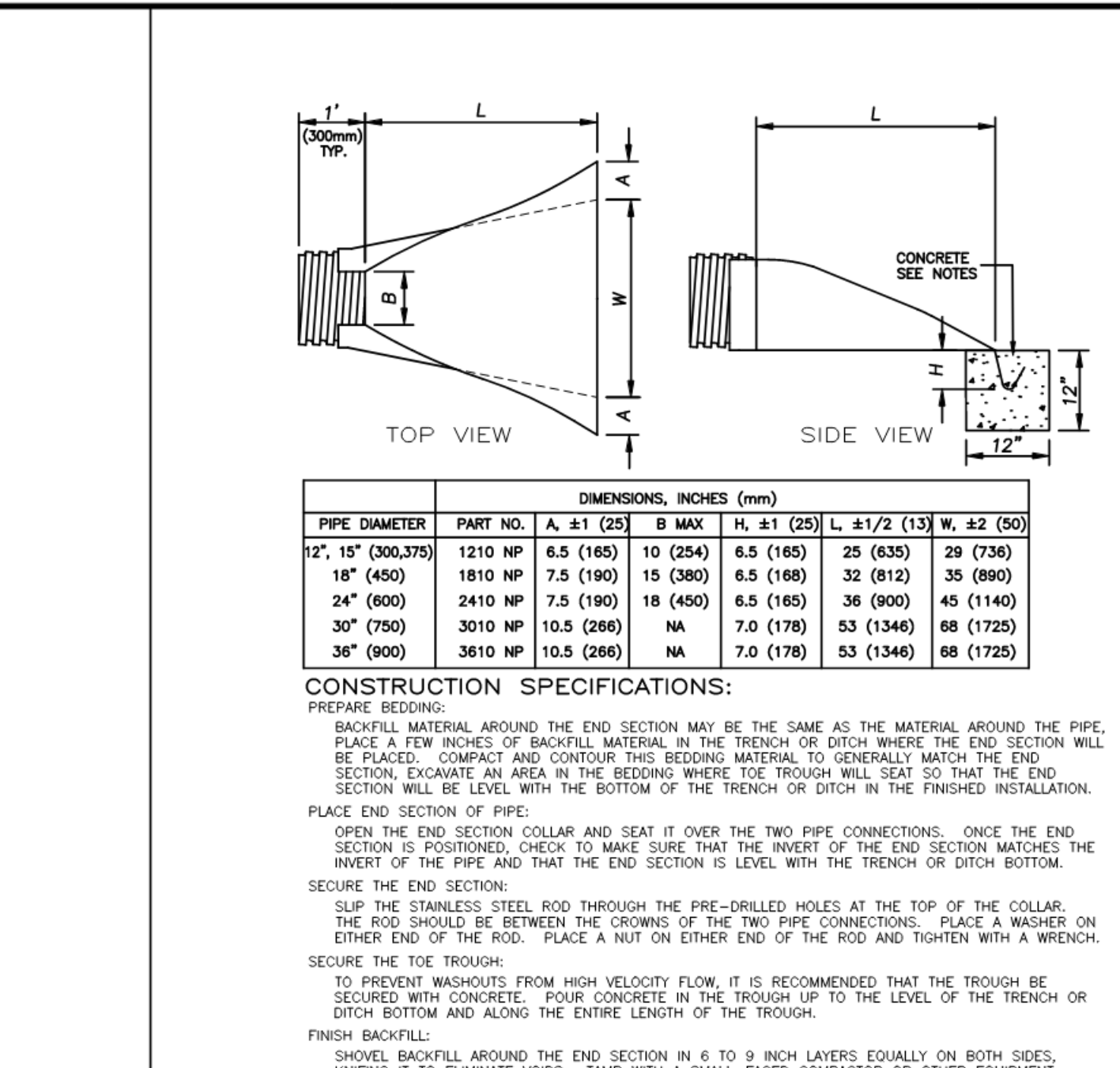
- NOTES:
1. MAINTAIN 2" CLEARANCE (TYP) BETWEEN ALL CONCRETE EDGES AND WIRE FABRIC OR DOWEL.
 2. CONTROL JOINTS TO BE LOCATED 5 FT. ON CENTER.
 3. EXPANSION JOINTS TO BE LOCATED 25 FT. ON CENTER.



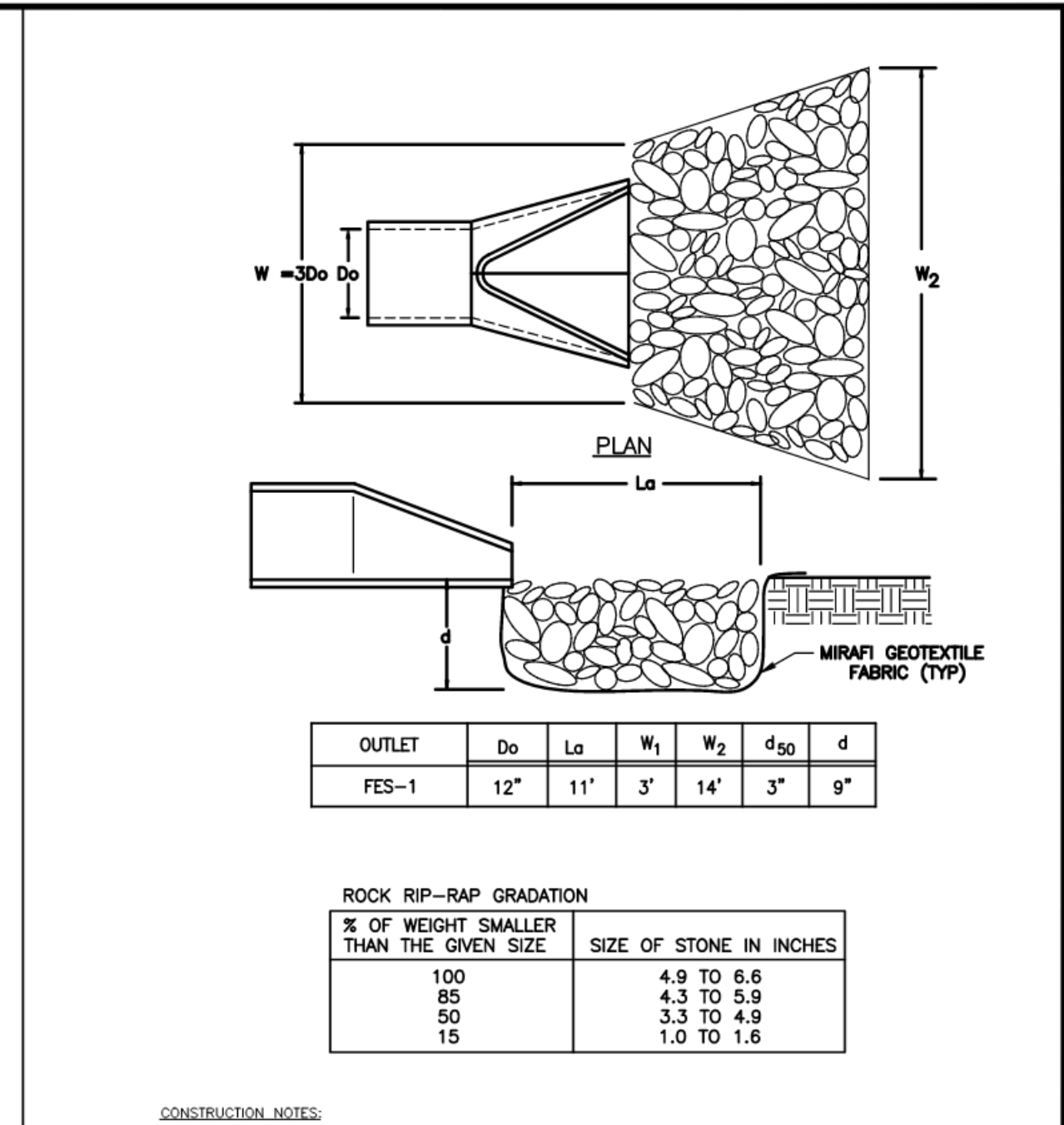
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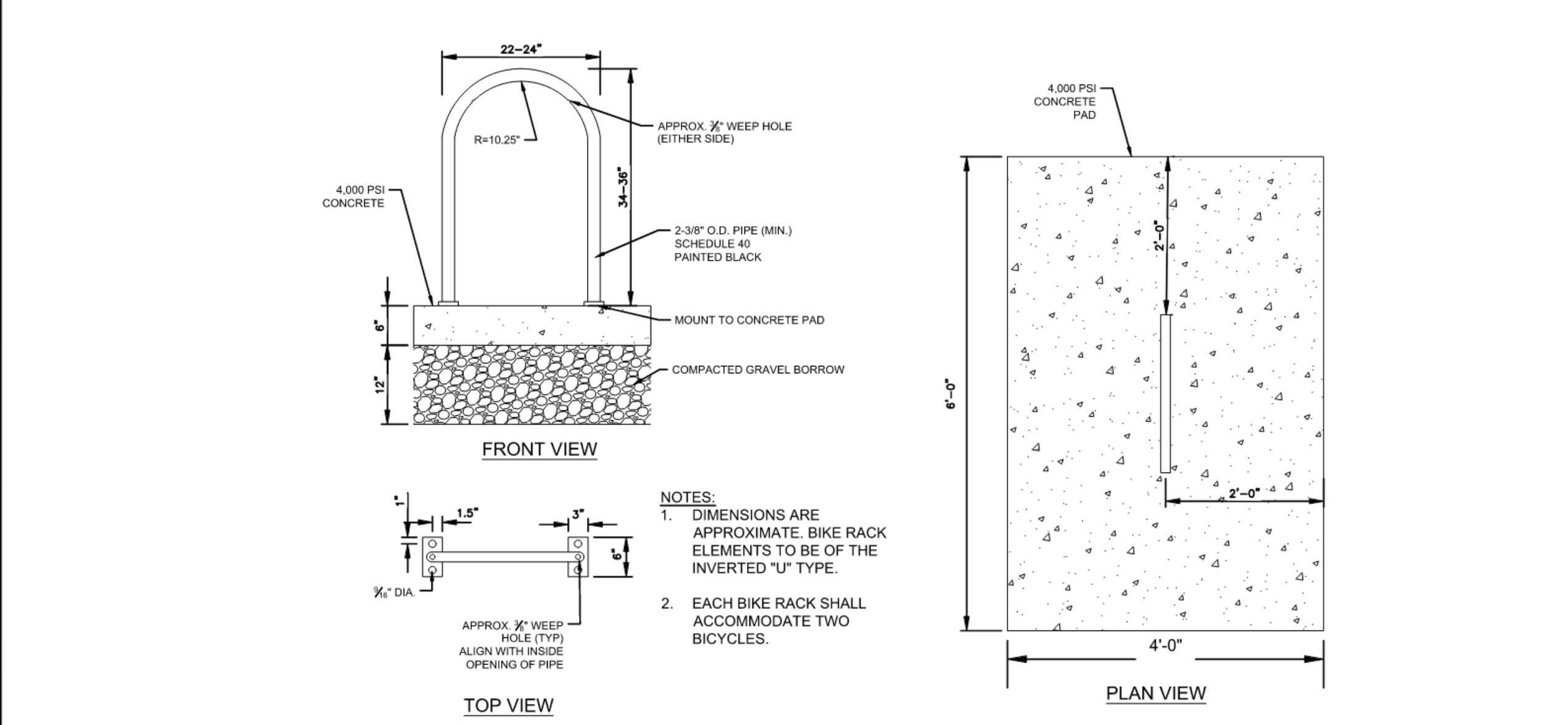
2,000 GAL. OIL/WATER SEPARATOR DETAIL (OWS-1)
NOT TO SCALE



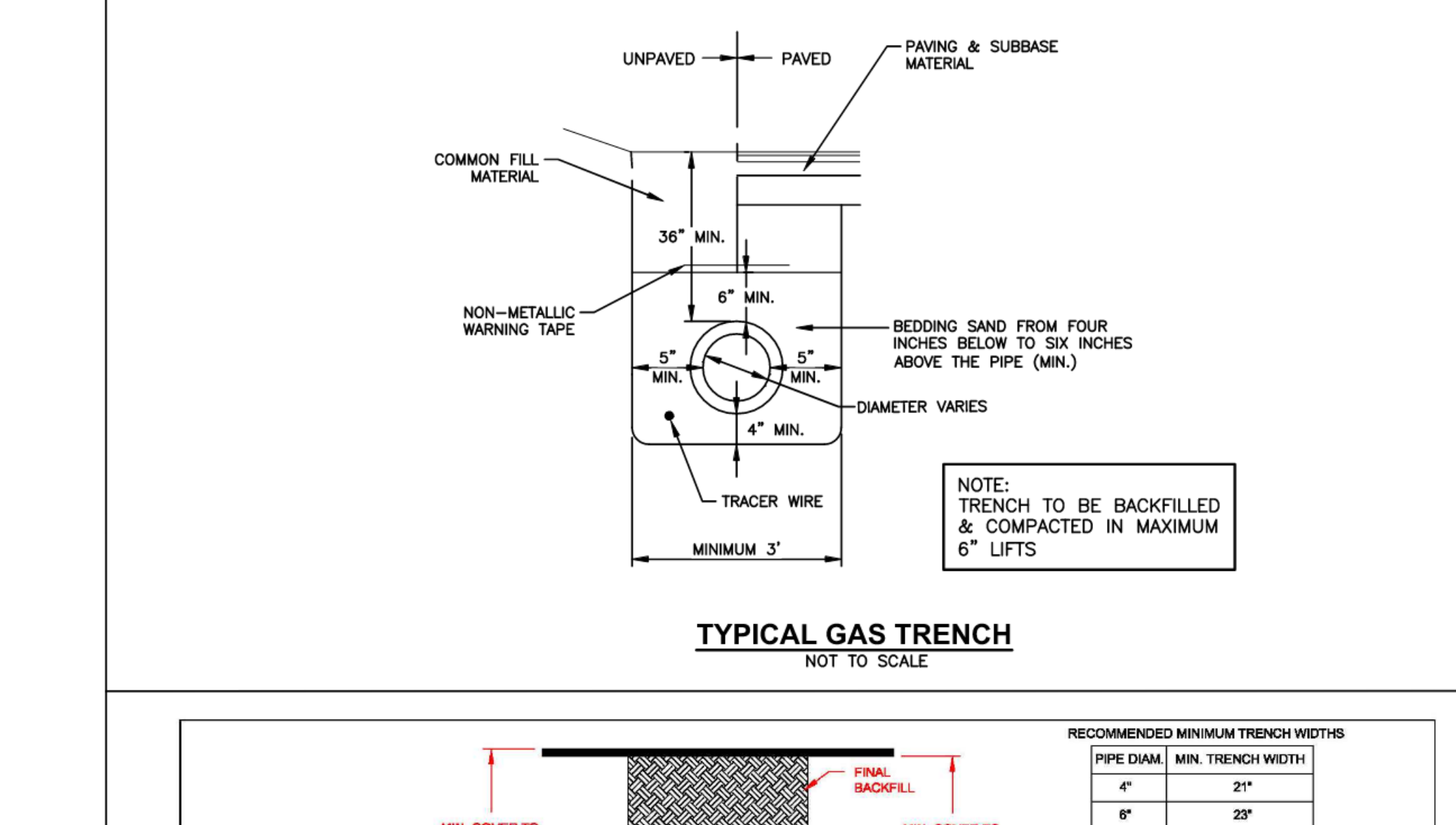
FLARED END SECTION HIGH DENSITY POLYETHYLENE (HDPE)
NOT TO SCALE



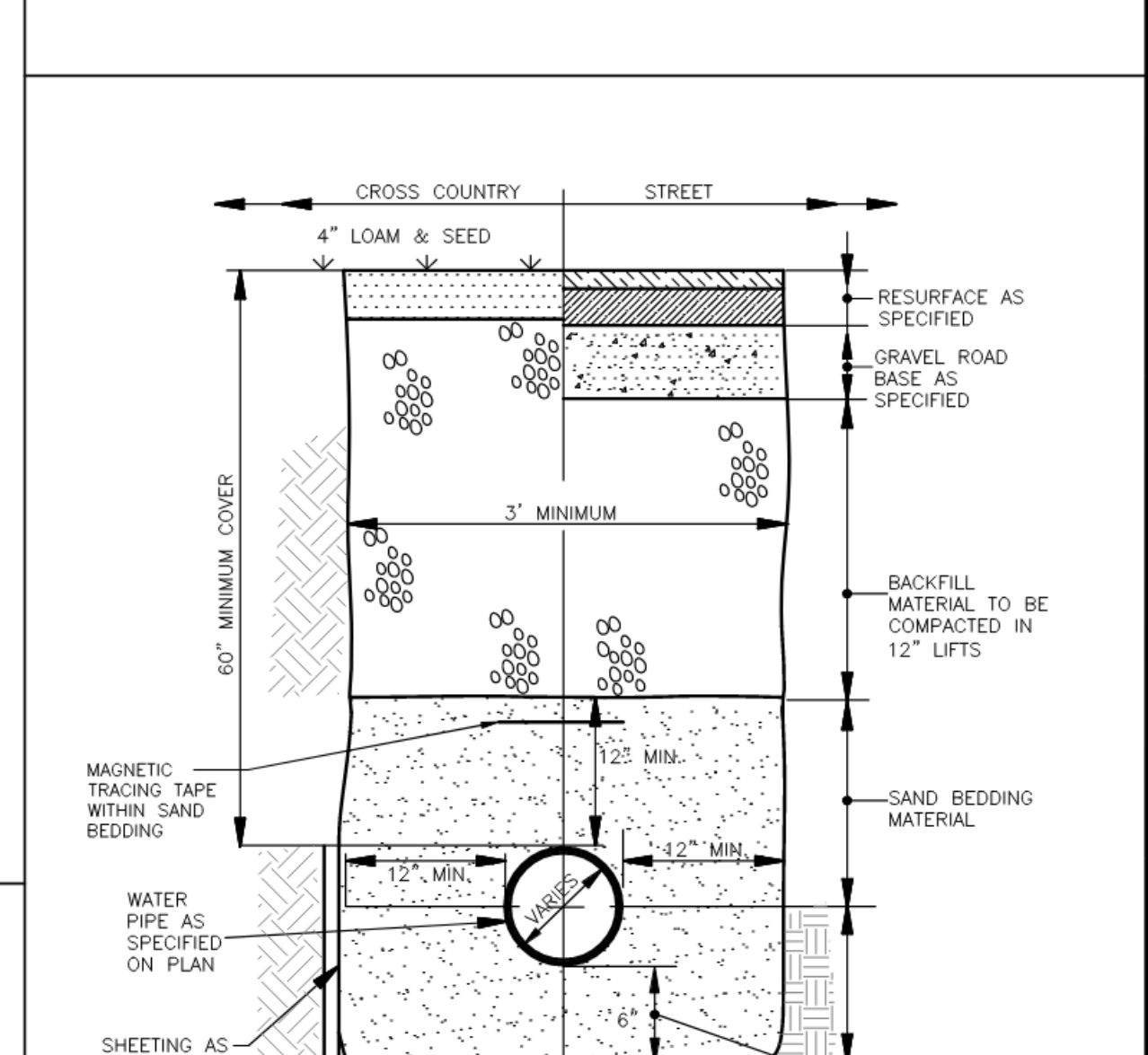
OUTLET PROTECTION-FLAT DETAIL
NOT TO SCALE



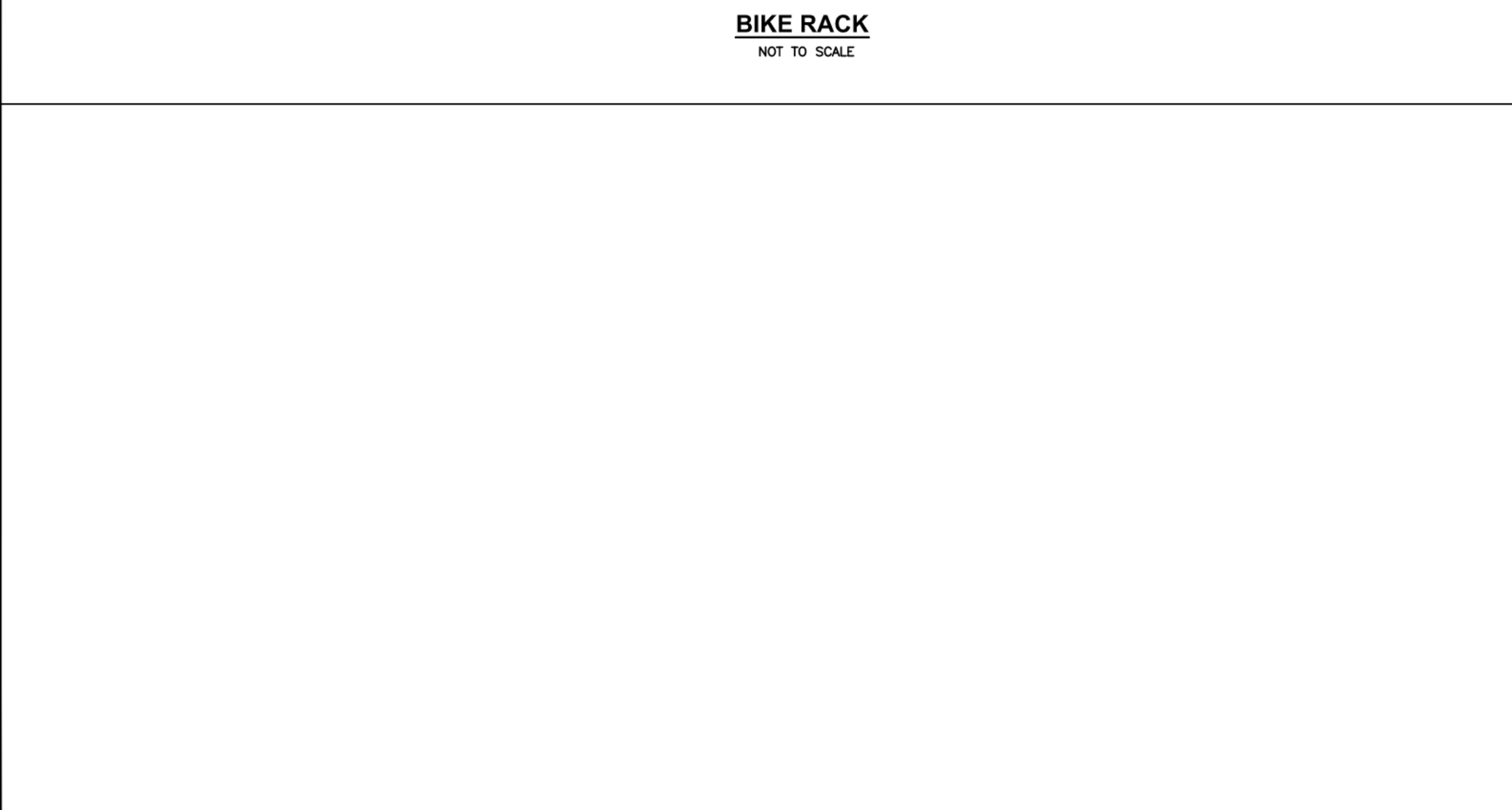
BIKE RACK
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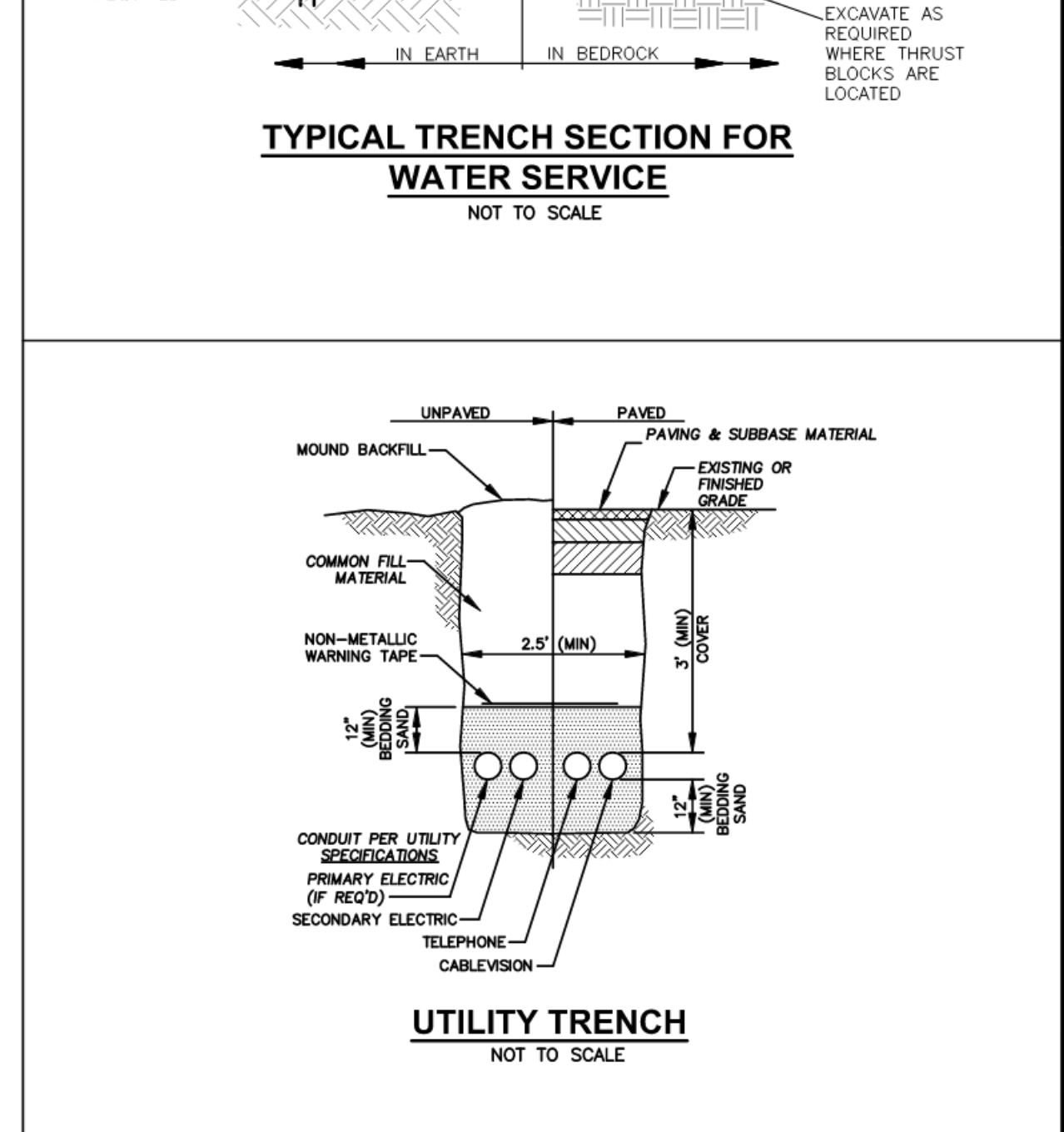
TYPICAL GAS TRENCH
NOT TO SCALE



TYPICAL TRENCH SECTION FOR WATER SERVICE
NOT TO SCALE



HDPE PIPE TRENCH
NOT TO SCALE



UTILITY TRENCH
NOT TO SCALE

GPI Engineering Design Planning Construction Management
403.833.0720 GPINET.COM
Greenman-Pedersen, Inc.
44 Stiles Road, Suite One
Salem, NH 03079

PREPARED FOR
SUMMIT DISTRIBUTING, LLC
240 MECHANIC STREET
LEBANON, NH 03766

PROPOSED REDEVELOPMENT ASSESSORS MAP 3 LOT WM1436
1436 WEST MAIN STREET
RICHMOND, VERMONT

REGISTERED PROFESSIONAL ENGINEER
NO. 135316
CIVIL
3/24/23

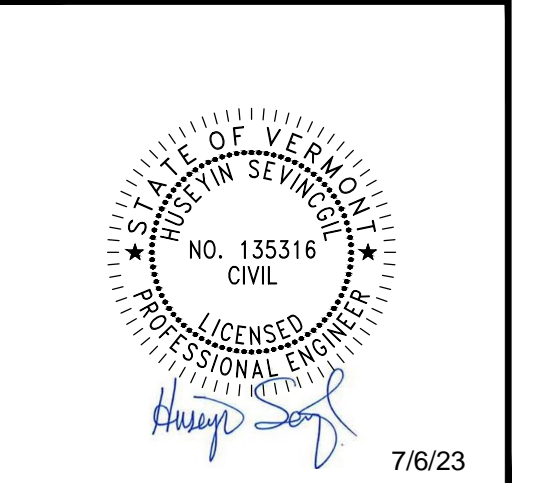
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2	ADD BIKE RACK DETAIL	3/23/23
1	REM. SIGNAGE	6/24/22

JUNE 22, 2022
DRAWN/DESIGN BY: SJB CHECKED BY: HS

DETAIL SHEET

SCALE: 1"=20'
NEX-465419
10 OF 12

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REVISIONS		
NO.	REVISION	DATE
2	ADD STORMFILTER	7/6/23
1	MISC. REVISIONS	3/23/23
JUNE 22, 2022		
DRAWN/DESIGN BY		CHECKED BY
SJB		HS

STORMFILTER DESIGN NOTES

STORMFILTER TREATMENT CAPACITY IS A FUNCTION OF THE CARTRIDGE SELECTION AND THE NUMBER OF CARTRIDGES. THE STANDARD MANHOLE STYLE IS SHOWN WITH THE MAXIMUM NUMBER OF CARTRIDGES (4). VOLUME SYSTEMS WITH MAXIMUM CARTRIDGES: 60" Ø (1524 mm) MANHOLE STORMFILTER WITH SEALED OUTLET RISER MAY REQUIRE AN UPSTREAM BYPASS STRUCTURE.

CARTRIDGE SELECTION	27" (686 mm)	18" (457 mm)	LOW DROP
RECOMMENDED HYDRAULIC DROP (H)	3.00 (76 mm)	2.2 (56 mm)	1.8 (46 mm)
SPECIFIC FLOW RATE (gpm/ft ² [L/s/m ²])	2.1 (30)	1.1 (15.6)	1.0 (14)
CARTRIDGE FLOW RATE (gpm) [L/s]	22.5 (1.42)	18.79 (1.19)	11.25 (0.71)
	15 (0.95)	12.53 (0.78)	7.5 (0.44)
	10 (0.63)	8.38 (0.54)	5 (0.32)

* 1.67 gpm/ft² (1.08 L/s/m²) SPECIFIC FLOW RATE IS APPROVED WITH PHOSPHORUS (PSORB) MEDIA ONLY

PLAN VIEW
STANDARD OUTLET RISER
FLOWKIT-41A

FRAME AND COVER
(DIAMETER VARIES)
N.T.S.

SECTION A-A

CONTECH
ENGINEERED SOLUTIONS LLC

SFMH60
STORMFILTER
STANDARD DETAIL

PROFILE

PLAN VIEW

- STONE FOR A STABILIZED CONSTRUCTION ENTRANCE SHALL BE 1 TO 2 INCH STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
- THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50 FEET, EXCEPT FOR A SINGLE RESIDENTIAL LOT WHERE A 30 FOOT MINIMUM WOULD APPLY.
- THE THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
- THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF THE ENTRANCE WHERE INGRESS OCCURS OR 10 FEET, WHICHEVER IS GREATER.
- GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE. FILTER CLOTH IS NOT REQUIRED FOR A SINGLE FAMILY RESIDENCE LOT.
- ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 2:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOPDRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.
- WHEELS SHALL BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

STABILIZED CONSTRUCTION ENTRANCE

DETAIL
NOT TO SCALE

SILT FENCING

- ALL EXISTING EXCAVATED MATERIAL THAT IS NOT TO BE REUSED IN THE WORK IS TO BE IMMEDIATELY REMOVED FROM THE SITE AND PROPERLY DISPOSED OF.
- SOIL/AGGREGATE STOCKPILE SITES TO BE WHERE SHOWN ON THE DRAWINGS.
- RESTORE STOCKPILE SITES TO PRE-EXISTING PROJECT CONDITION AND RESEED AS REQUIRED.
- STOCKPILE HEIGHTS MUST NOT EXCEED 35'. STOCKPILE SLOPES MUST BE 2:1 OR FLATTER.

MATERIALS STOCKPILE DETAIL

NOT TO SCALE

SEDIMENT CONTROL FENCE

NOT TO SCALE

TOP VIEW

SECTION A-A
STANDARD DETAIL

GRATE WELDING DETAIL

MESH ATTACHMENT DETAIL

TYPICAL TREE PLANTING

NOT TO SCALE

TYPICAL SHRUB PLANTING

NOT TO SCALE

TYPICAL PERENNIAL PLANTING

NOT TO SCALE

STRAW WATTLE DETAIL

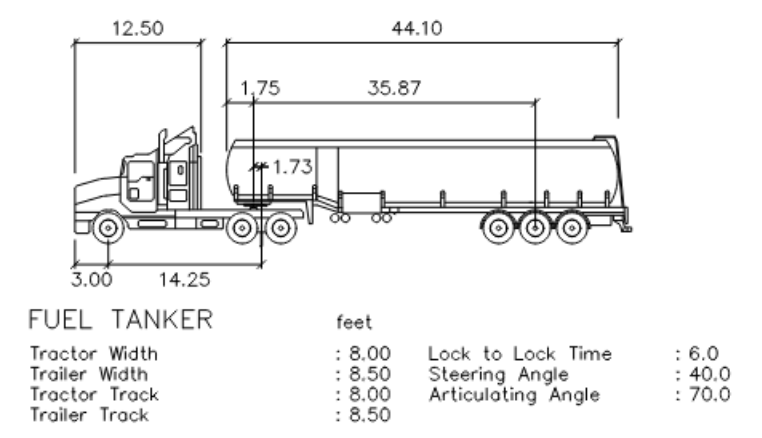
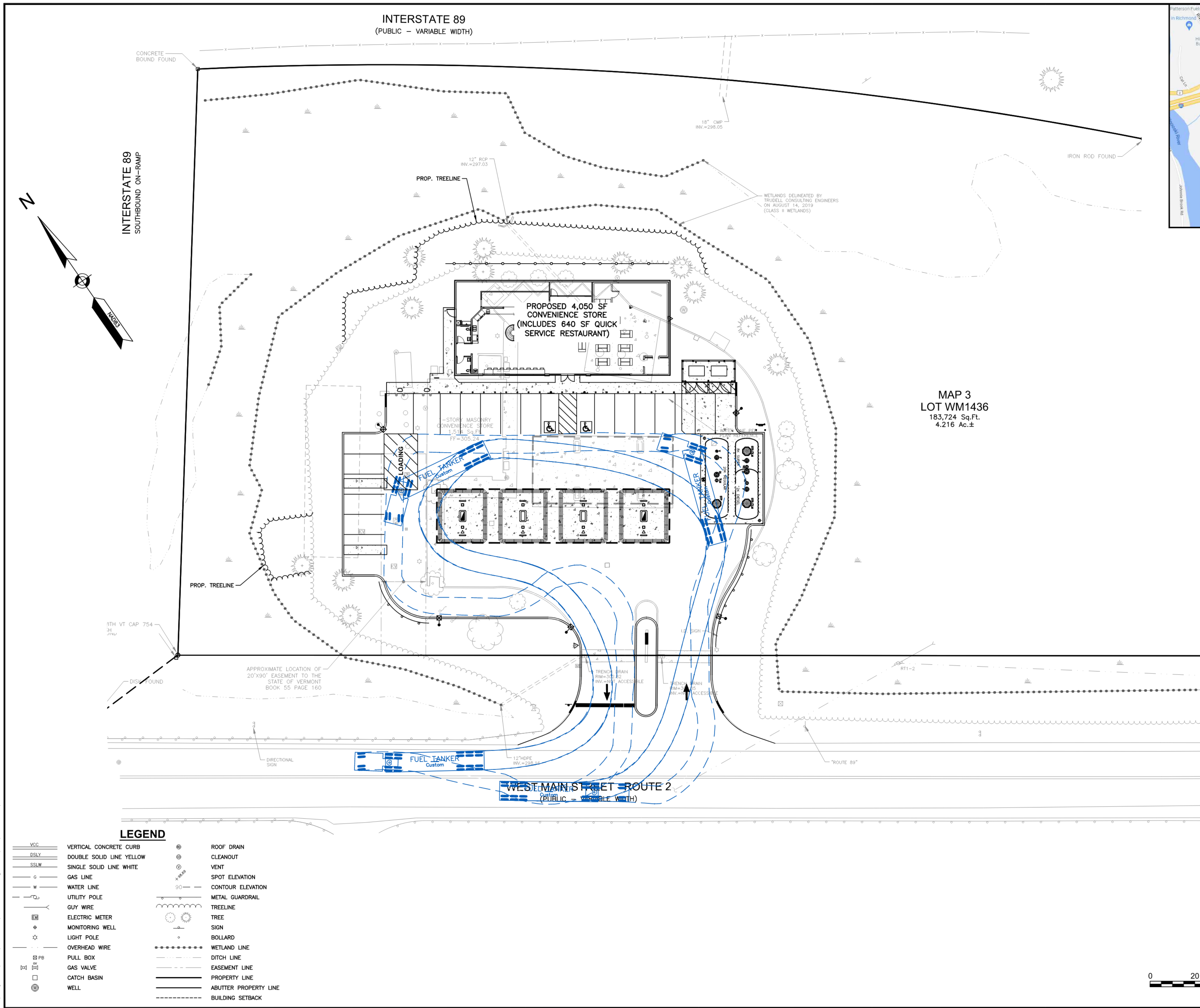
NOT TO SCALE

WATTLE CROSS SECTION:
ON BARE SOIL

WATTLE CROSS SECTION:
ON EROSION CONTROL
BLANKET

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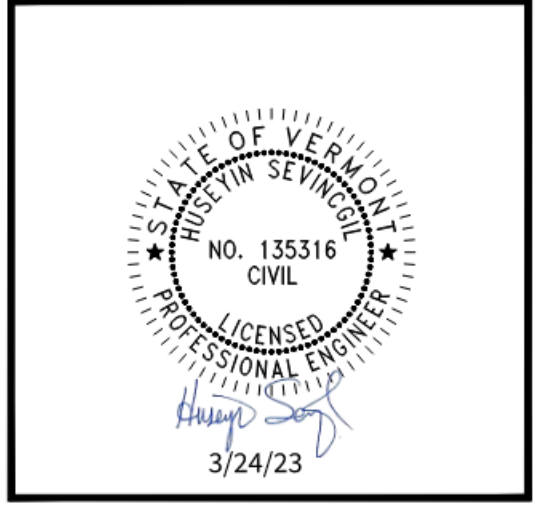
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403.893.0720 GPINET.COM
Greenman-Pedersen, Inc.
44 Siles Road, Suite One
Salem, NH 03079

PREPARED FOR
SUMMIT DISTRIBUTING, LLC
240 MECHANIC STREET
LEBANON, NH 03766

PROPOSED REDEVELOPMENT
ASSESSORS MAP 3 LOT WM1436
1436 WEST MAIN STREET
RICHMOND, VERMONT



REVISIONS

NO.	REVISION	DATE
1	ADD BIKE RACK & REVISE CANOPY	3/23/23

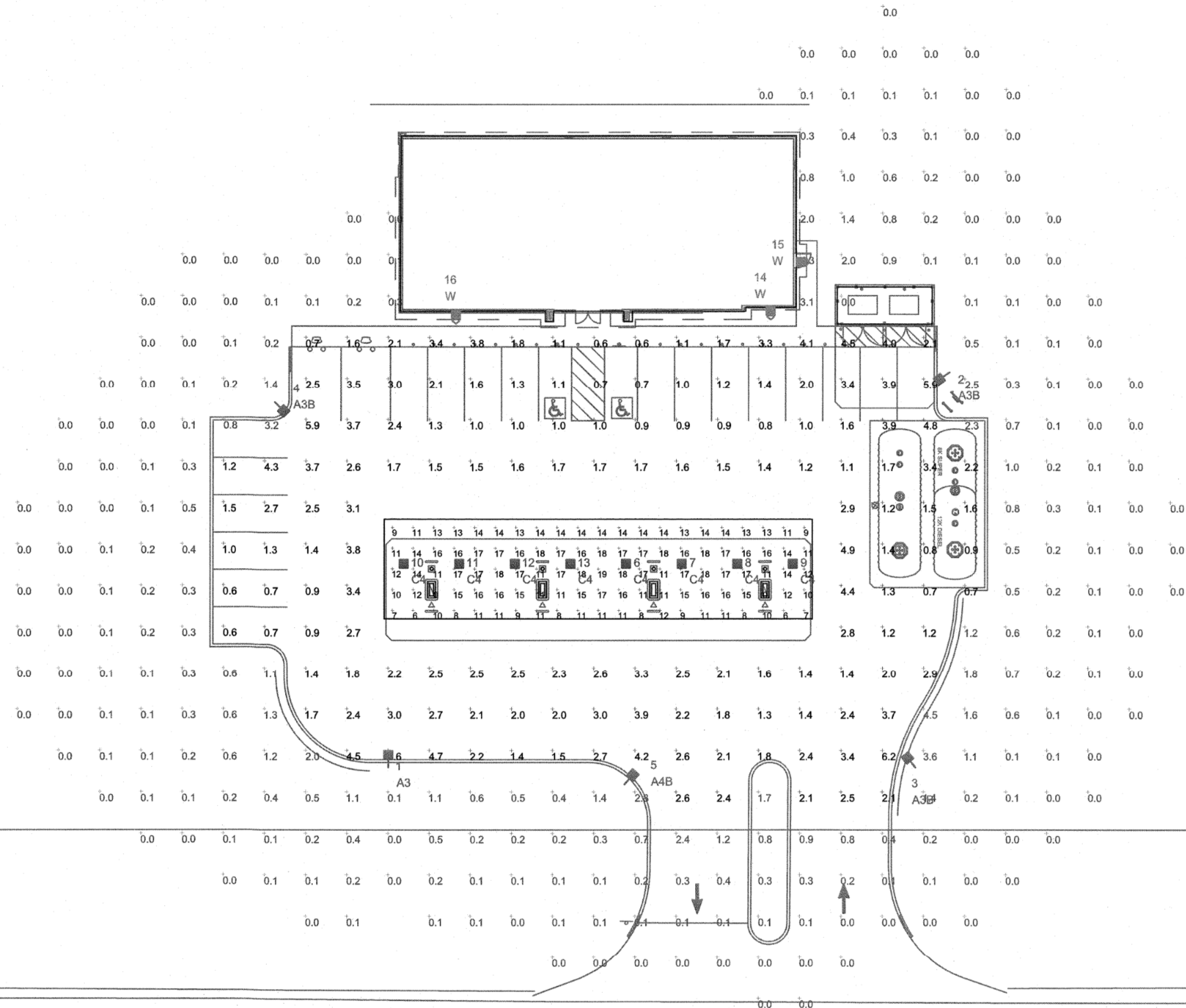
JUNE 22, 2022
DRAWN/DESIGN BY: SJB CHECKED BY: HS

TRUCK TURN PLAN

SCALE: 1"=20'

NEX-465419

1 OF 1



WEST MAIN STREET - ROUTE 2

ILLUMINATION LEVELS ARE THE RESULT OF CONDITIONS OR REQUESTS BY OTHERS
 RED LEONARD ASSOCIATES IS NOT RESPONSIBLE
 FOR INCIDENTS CAUSED BY INSUFFICIENT LIGHTING
 AND DOES NOT RECOMMEND THESE LEVELS FOR
 SECURITY AND SAFETY REASONS

THIS SITE IS LOCATED IN A REGION WHERE LIGHTING IS
 REGULATED BY LOCAL ORDINANCES

LUMINAIRE LOCATION SUMMARY		
LUM NO.	LABEL	MTG. HT.
1	A3	15
2	A3B	15
3	A3B	15
4	A3B	15
5	A4B	15
6	C4	15
7	C4	15
8	C4	15
9	C4	15
10	C4	15
11	C4	15
12	C4	15
13	C4	15
14	W	12
15	W	12
16	W	12

NOTE:
 AREA LIGHTS ON NEW 13 FT. POLES MOUNTED ON 2 FT. CONCRETE BASES

FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES					
LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
PAVED AREA	2.20	6.6	0.6	3.67	11.00
UNDEFINED	0.35	4.5	0.0	N.A.	N.A.
UNDER CANOPY	13.21	19	0	N.A.	N.A.

LUMINAIRE SCHEDULE											
SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LATF	DIMMING LUMEN MULTIPLIER	LLF	ARR. WATTS	TOTAL WATTS	MANUFACTURER	DESCRIPTION
1	1	A3	Single	6150	1.040	1.000	1.040	37	37	Cree Lighting	OSQ-ML-B-XX-XX + OSQM-B-11L-57K7-3M-UL-NM-XX-Q1
3	3	A3B	SINGLE	9196	1.040	0.610	0.634	53	159	Cree Inc	OSQ-XX + OSQ-A-NM-3ME-B-57K-UL-XX-Q3 + OSQ-BLSMF
1	1	A4B	Single	4720	1.040	1.000	1.040	37	37	Cree Inc	OSQ-ML-B-XX-XX + OSQM-B-11L-57K7-4M-UL-NM-XX-Q1 + OSQ-BLSMF
8	8	C4	SINGLE	10912	1.040	0.600	0.624	51.51	412.08	CREE, INC.	CAN-304-SL-RS-06-E-UL-XX-525-57K-DIM (SET @ 4.5V)
3	3	W	SINGLE	2490	1.040	1.000	1.040	19	57	Cree Inc	XSPW-B-WM-3ME-2L-57K-UL-XX

REDLEONARD ASSOCIATES
 1340 Kemper Meadow Dr, Forest Park, OH 45240
 513-674-9500 | redleonard.com

REV.	BY	DATE	DESCRIPTION
R1	FNE	7/22/2020	REVISED PER CITY REQUIREMENTS
R2	FNE	6/14/22	REVISED PER UPDATED SITE PLAN
R3	FNE	6/21/22	REVISED PER UPDATED SITE PLAN

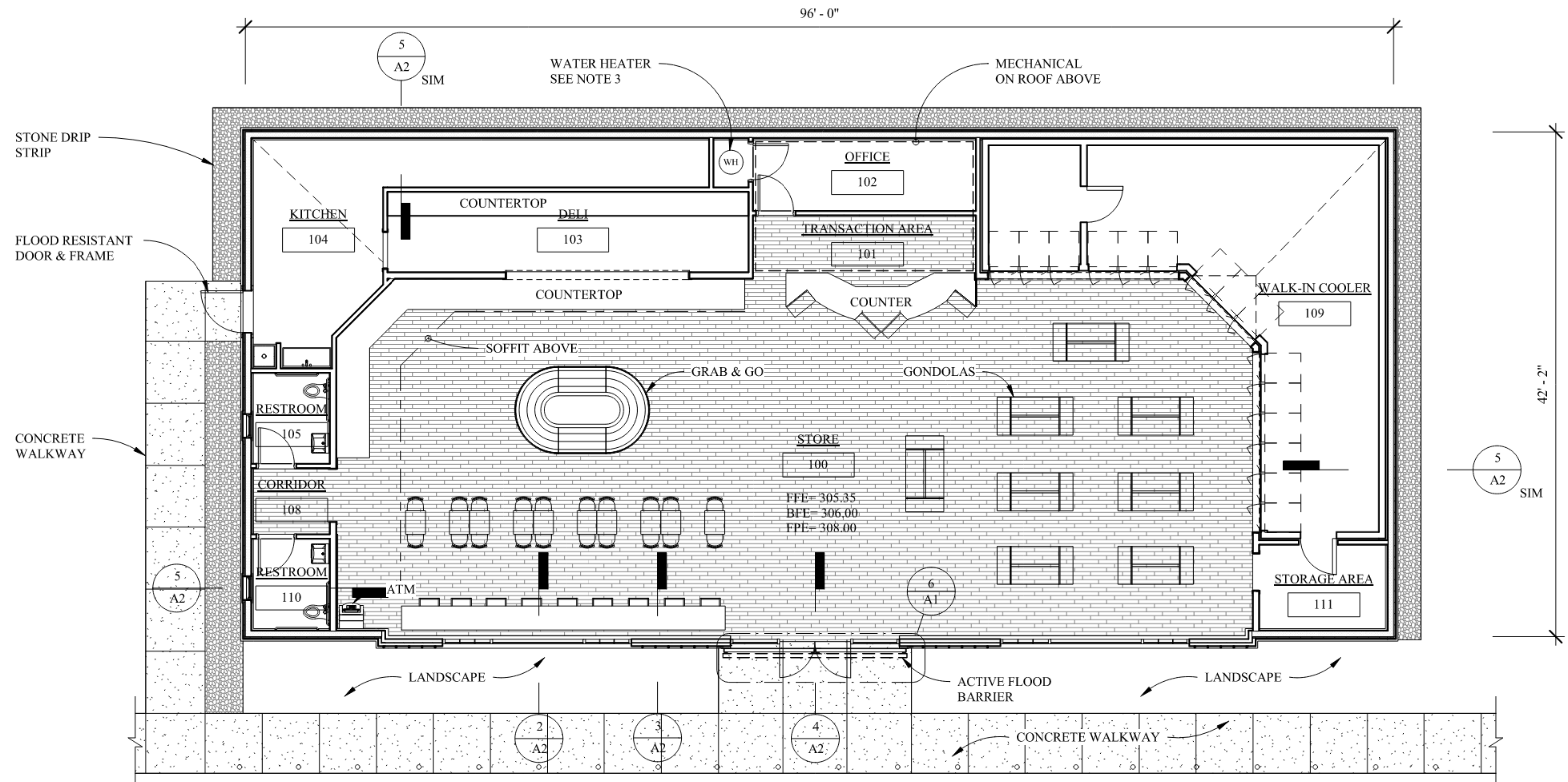
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SCALE:
 1" = 20'
 DWG SIZE:
 D

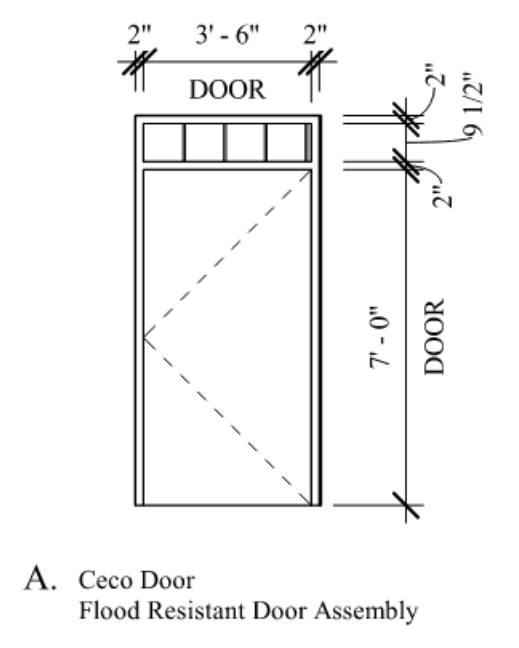
LAYOUT BY:
 FNE
 DATE:
 4/16/2020
 PROJECT NAME:
SUMMIT DISTRIBUTING
RICHMOND, VT
 DRAWING NUMBER:
RL-6676-S1-R3

NOTES:

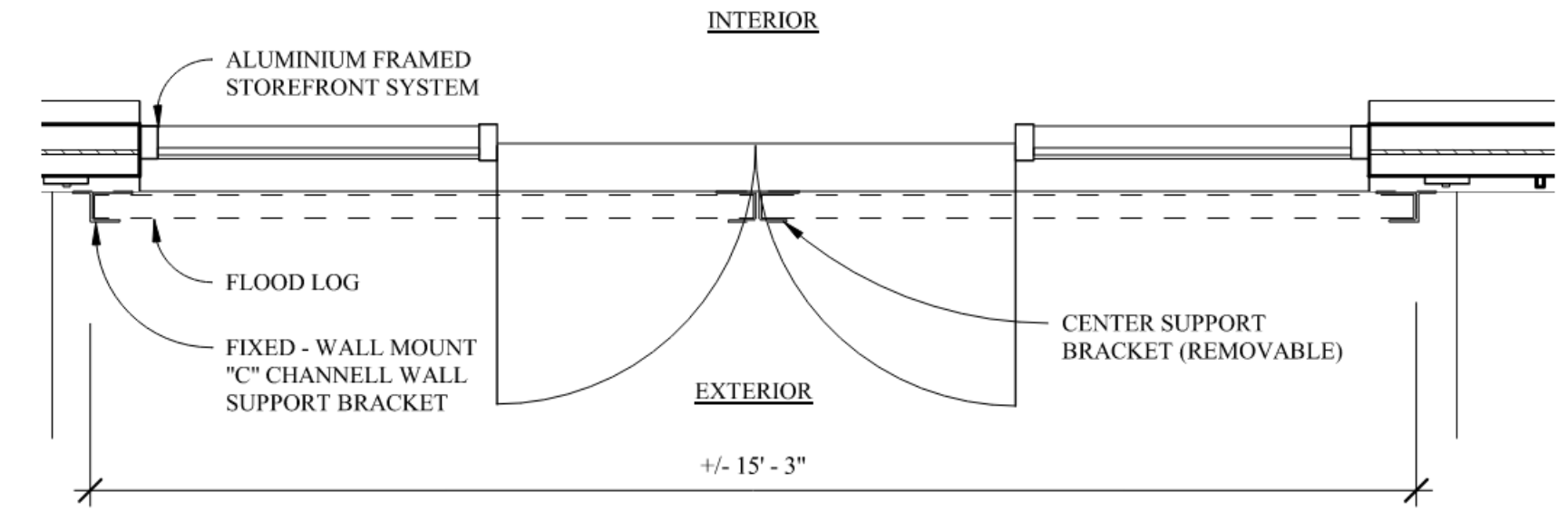
1. ALL OUTDOOR MECHANICAL EQUIPMENT IS LOCATED ON THE MEZZANINE.
2. ALL DUCTS ARE ABOVE FLOOD PROTECTION ELEVATION.
3. WATER HEATER IS LOCATED ABOVE FLOOD PROTECTION ELEVATION.
4. ACTIVE FLOOD BARRIER SYSTEM: FLOOD LOGS BY FLOODPROOFING.COM.
A. 2 LOGS HIGH = 3'-4 3/4" (TALLER THAN F.P.E)



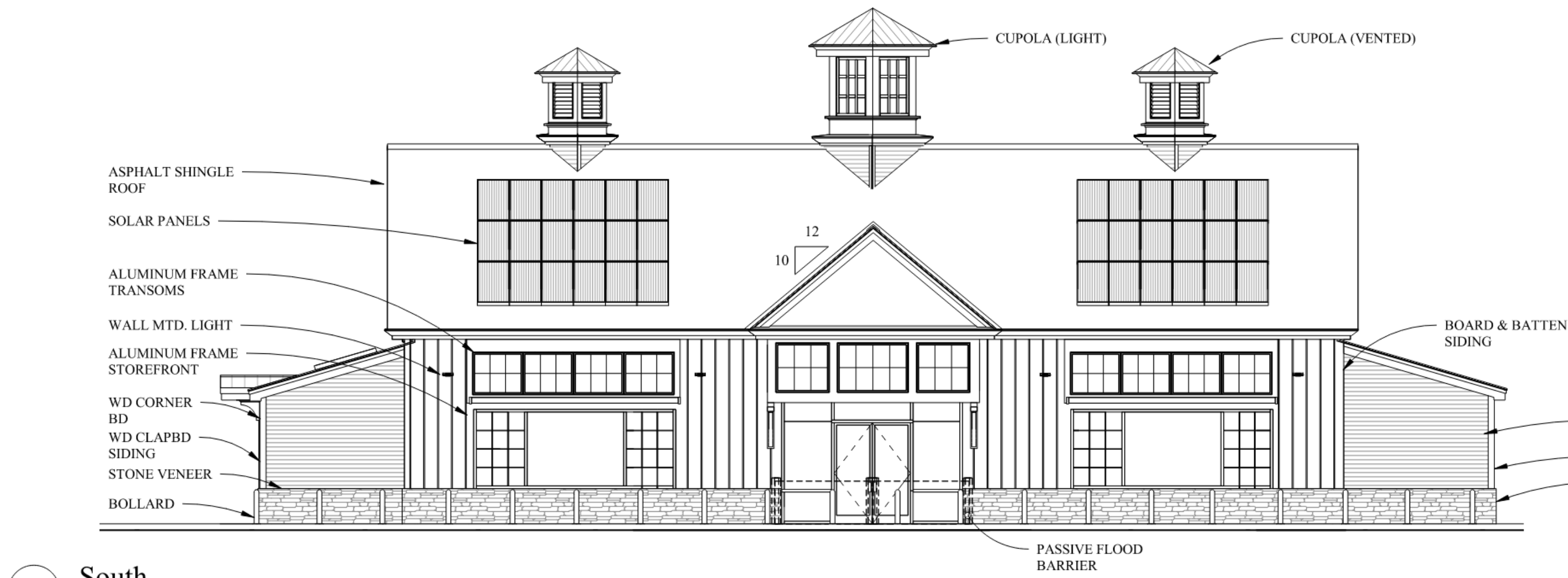
1 Ground Floor Plan
1/8" = 1'-0"



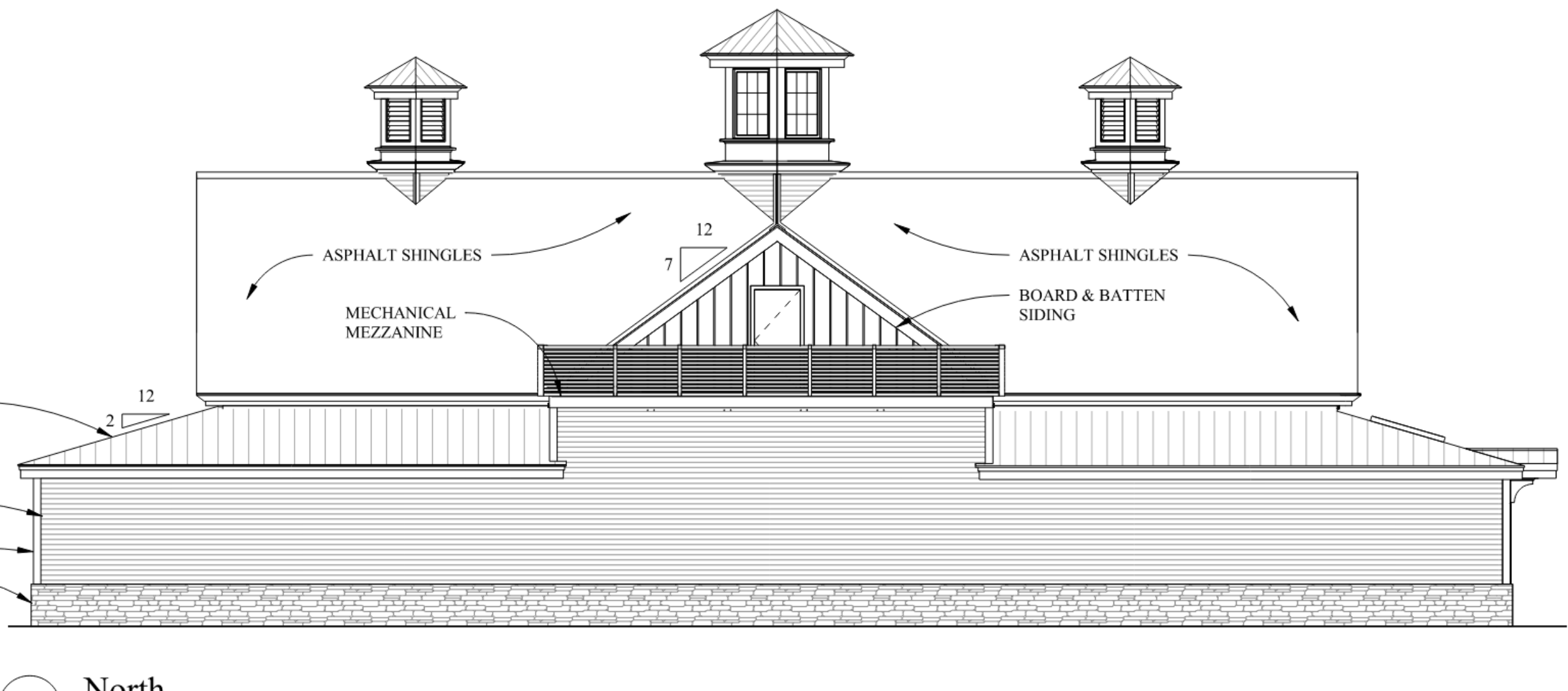
5 Door Types
1/4" = 1'-0"



6 Flood Protection Plan at Main Entrance
1/2" = 1'-0"



2 South
1/8" = 1'-0"



3 North
1/8" = 1'-0"

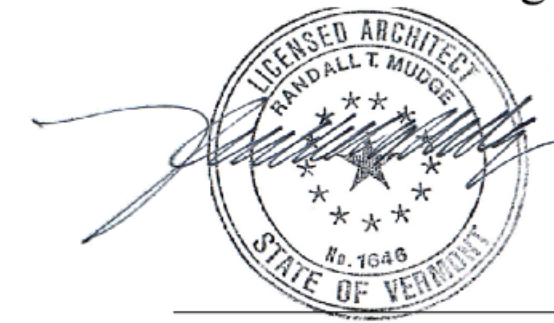


4 West
1/8" = 1'-0"

Summit Distributing, LLC
Convenience Store

1436 West Main Street Richmond, Vermont

Randall T Mudge & Associates

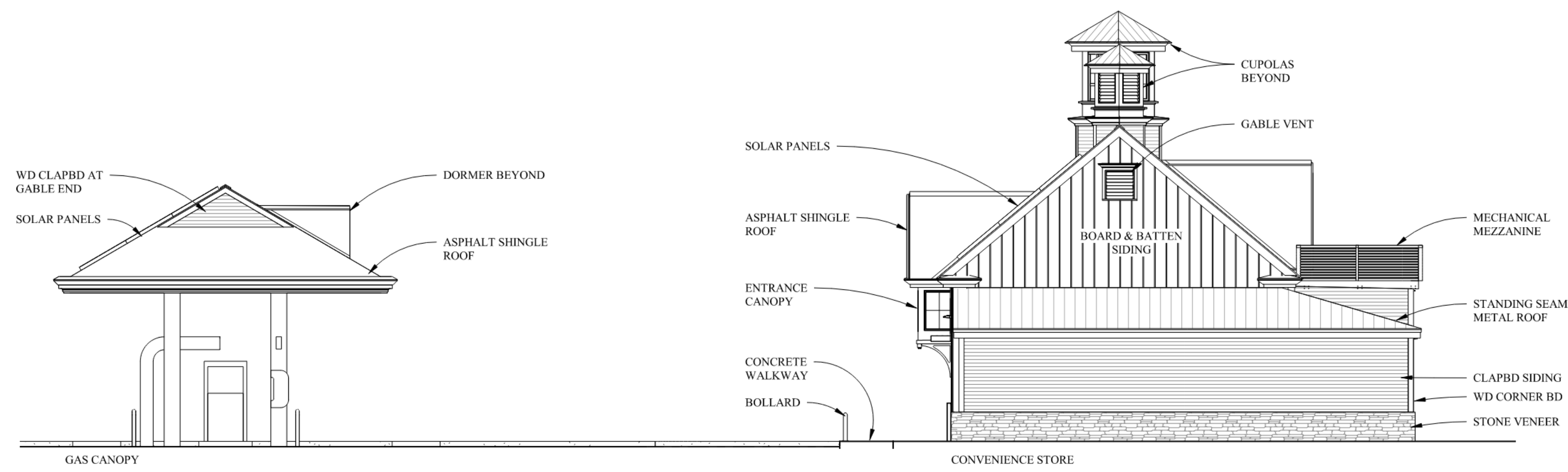


Architects
85 DCH
Route 10
Lyme, New Hampshire

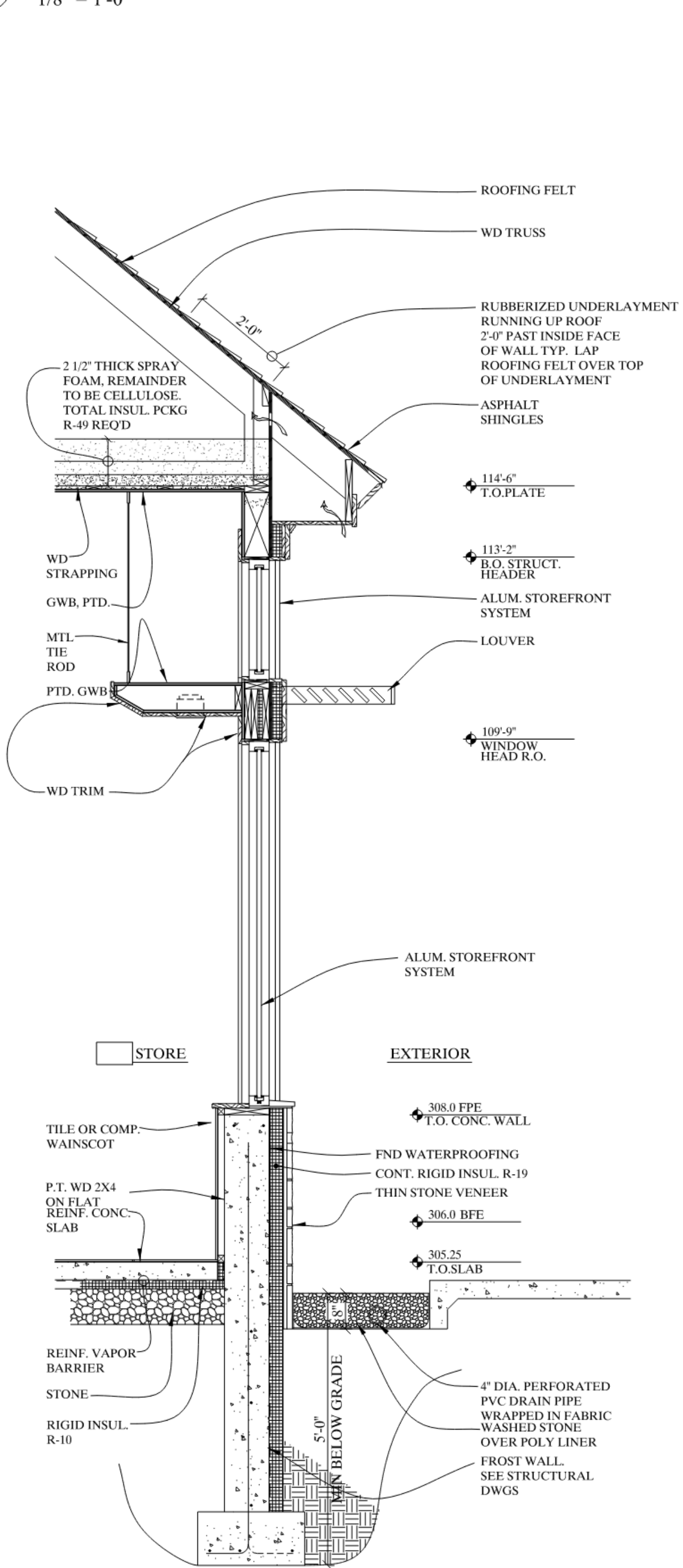
Architectural Flood Proof Design

2010 Job No. 10 MAR 2023 Date
As indicated Scale Revised

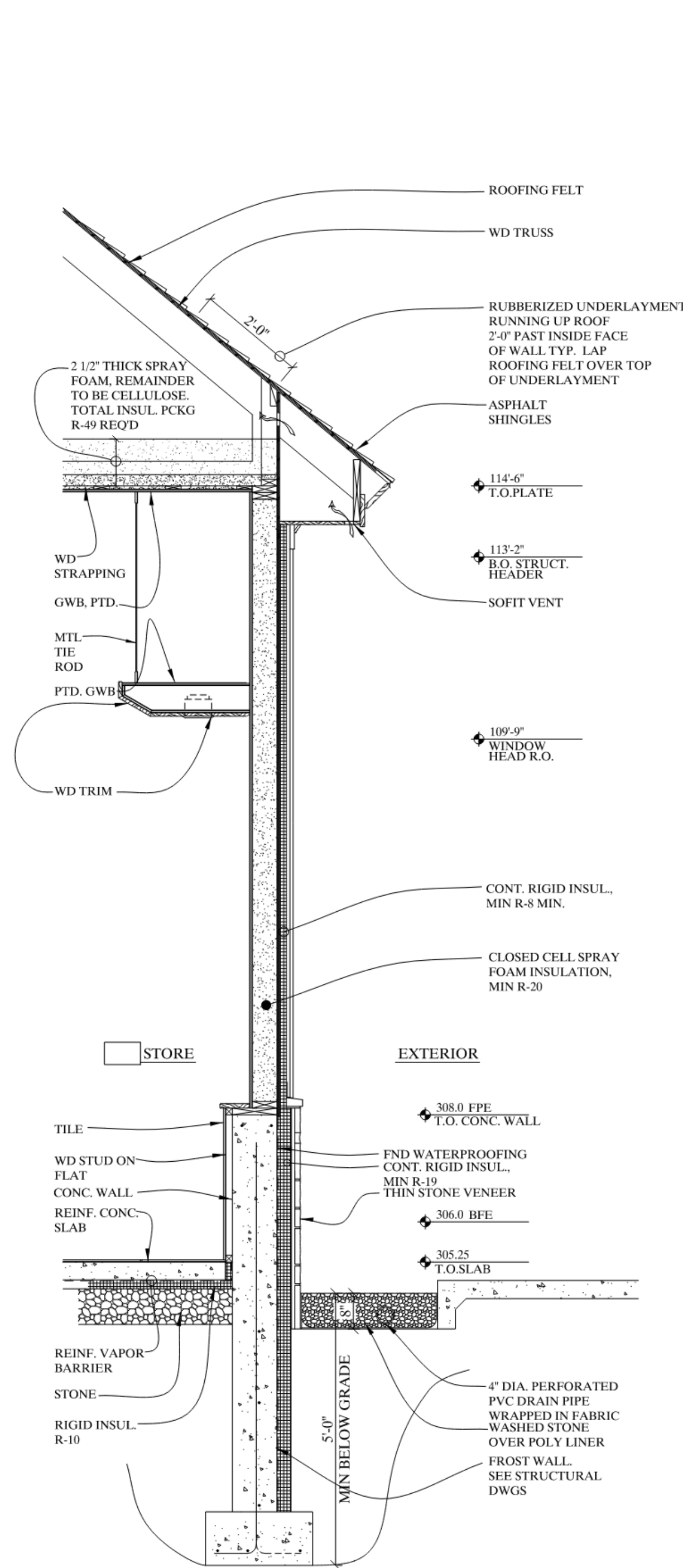
A1



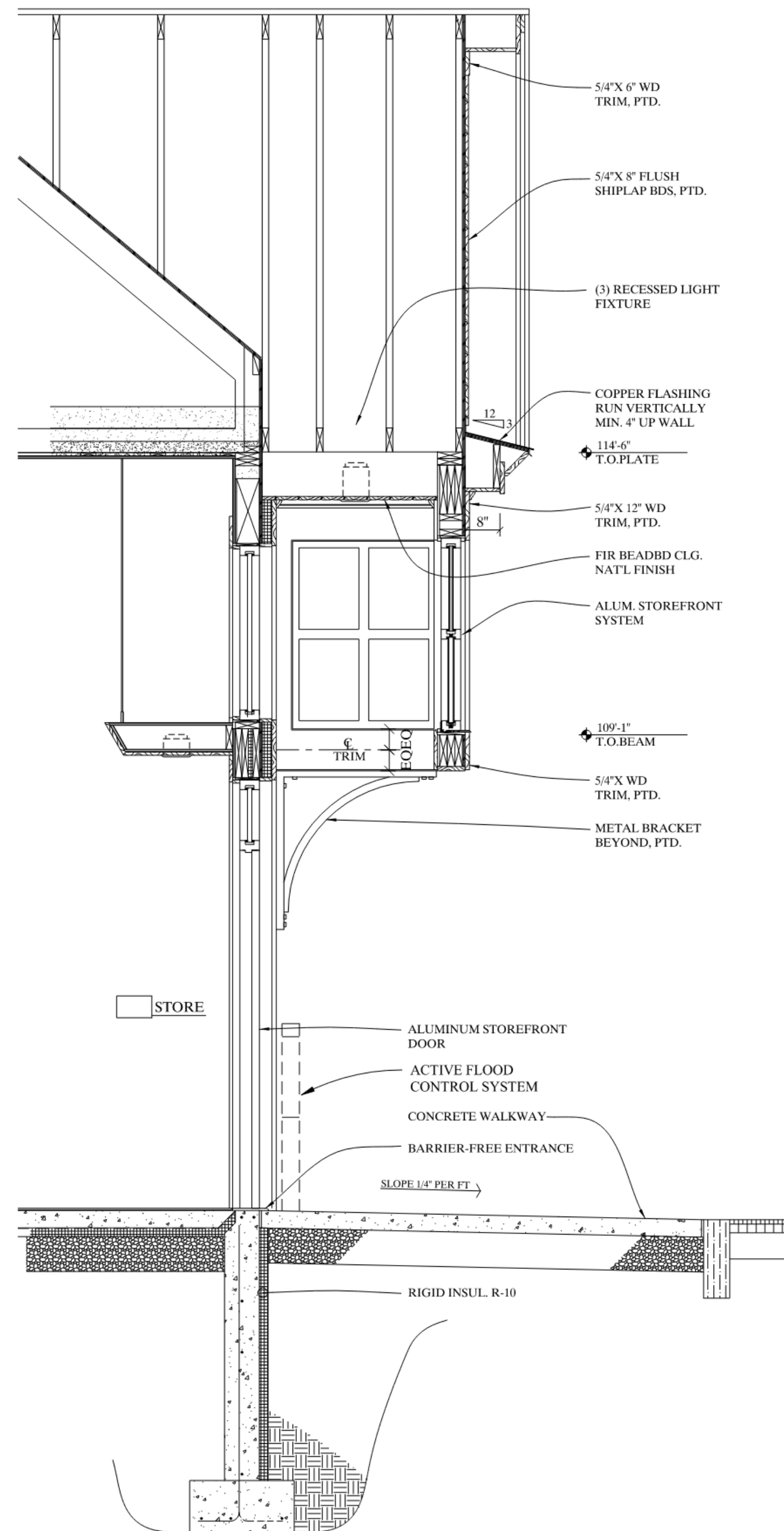
1 East
1/8" = 1'-0"



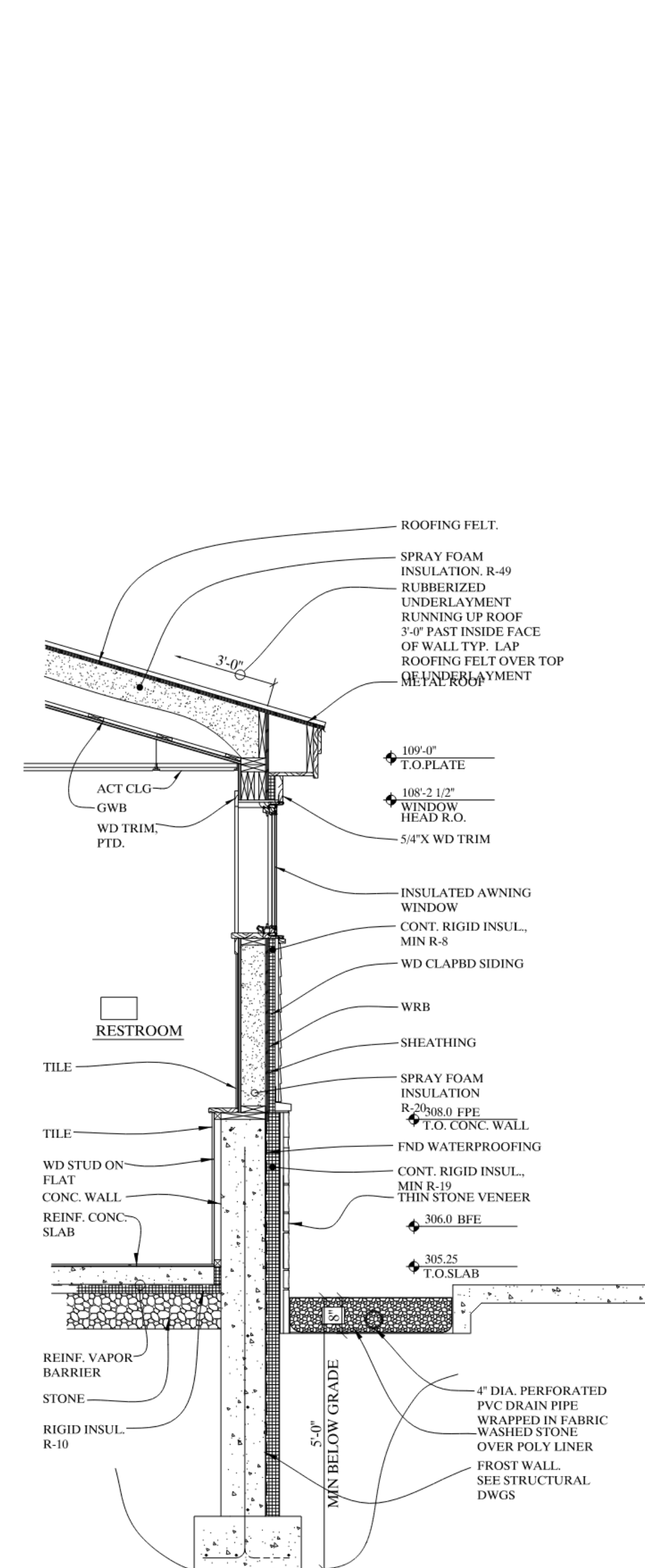
2 Wall Section @ Aluminum Storefront
1/2" = 1'-0"



3 Wall Section @ Solid Wall
1/2" = 1'-0"



4 Wall Section @ Entry
1/2" = 1'-0"

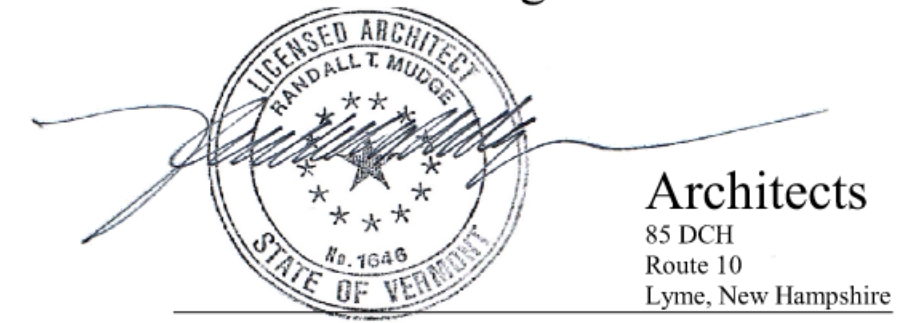


5 Wall Section @ Shed Roof
1/2" = 1'-0"

Summit Distributing, LLC
Convenience Store

1436 West Main Street Richmond, Vermont

Randall T Mudge & Associates



Architectural Flood Proof Design

2010 As indicated
Job No. Scale
10 MAR 2023
Date Revised

A2