

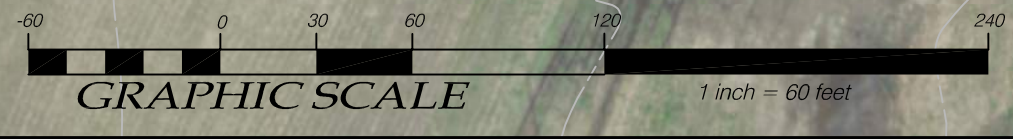
WEST MAIN STREET (US ROUTE 2)

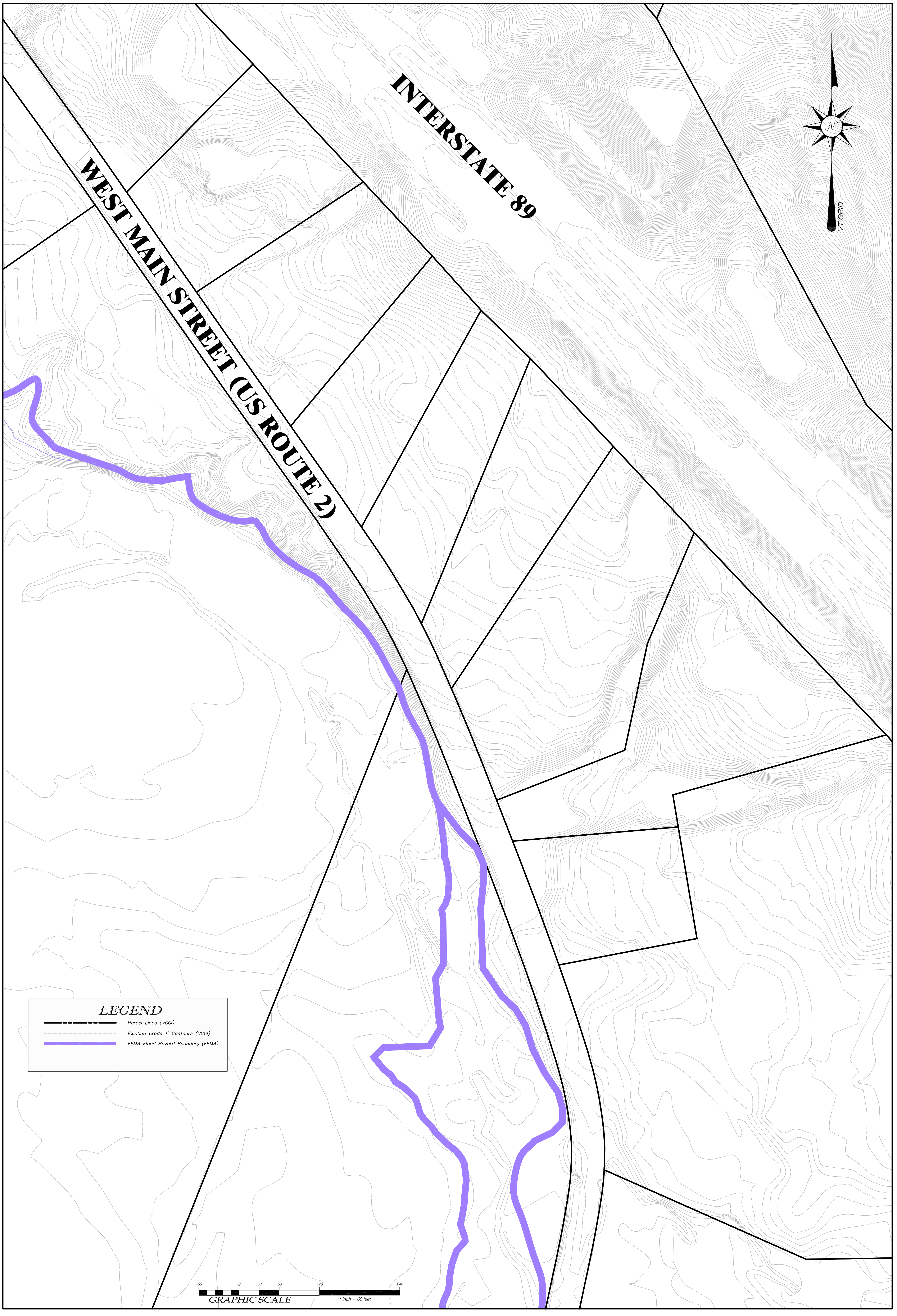
INTERSTATE 89



LEGEND

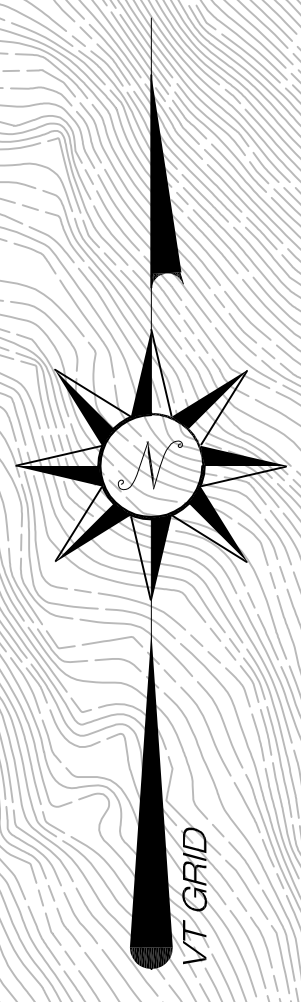
- Parcel Lines (VCG)
- Existing Grade 1' Contours (VCG)
- FEMA Flood Hazard Boundary (FEMA)





WEST MAIN STREET (US ROUTE 2)

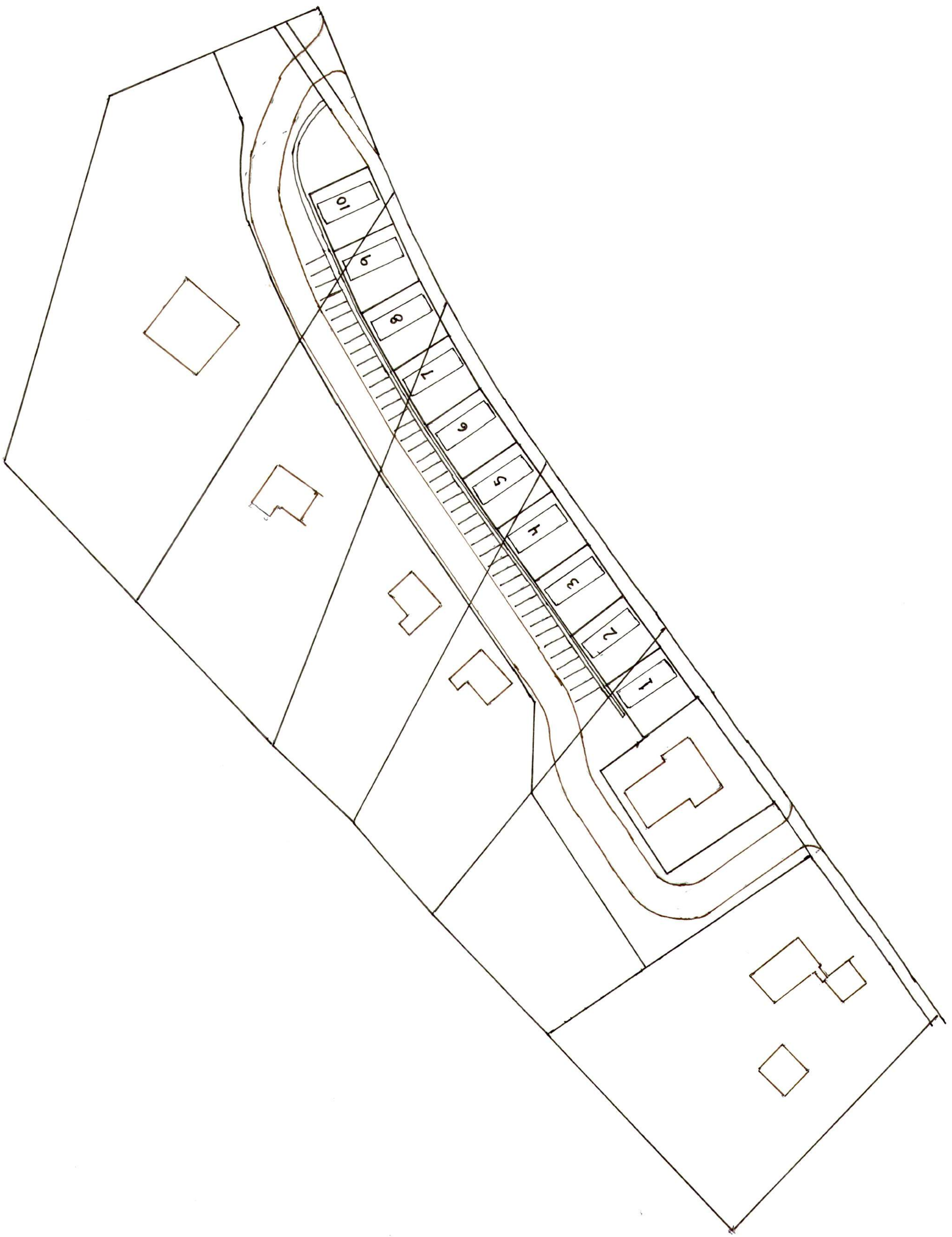
INTERSTATE 89



LEGEND

- Parcel Lines (VCG)
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Cemetery

EXISTING Profile

US ROUTE 2

Westbound

Eastbound

How to build a bike path along the cemetery;

I

Cemetery



Fence

10' Path

US ROUTE 2

Westbound

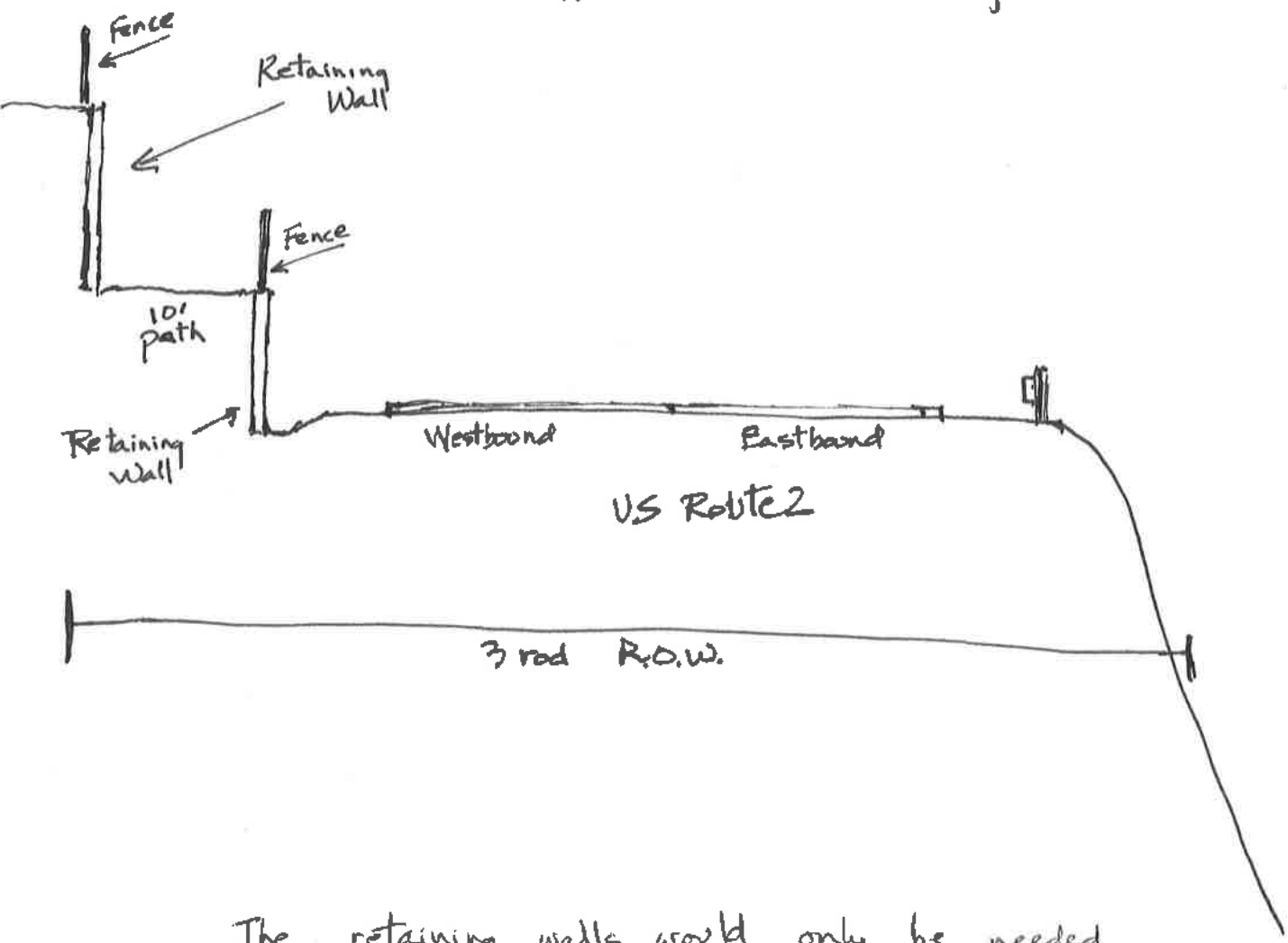
Eastbound

Proposed Profile

Requires moving the Right-of-Way and the Road

II

Proposed Profile Along the Cemetery
where Route 2 would not
have to be realigned



The retaining walls would only be needed along about 2/3 of the cemetery property. This would be significantly less than moving route 2 away from the cemetery and would not require getting permission from the Railroad.



Example of 4 1/2' high fence that could be used along the cemetery.

Woodstock



Gateway Zoning Change Proposal

February 2022
Gary Bressor

At a recent Richmond Planning Commission meeting, the idea of an interior road through the Gateway was introduced as a possible scenario for new zoning for the area. There was some discussion about how it would require moving some of the structures that currently exist, how wetlands and elevation changes make an end-to-end road impossible, and how it would require the taking of people's property to create the road. I encouraged the planning commission members to not rule it out yet as there are many positive reasons to try to find a solution.

Since that meeting I had a surveyor use the Gateway area orthophoto and overlay the property lines and one-foot elevation contours to create a basemap at an accurate scale try out various solutions. The following proposal attempts to takes into account everyone's concerns that were expressed during that meeting. The proposal is a effort to show that such a road could be created in the western half of the Gateway in a way that creates so many benefits to individual landowners that they could support the idea.

The Proposal

1. Create a new road parallel to Route 2 going from the professional office building to the current driveway four properties east.
2. Create 10 single-family homes on 10 house lots along Route 2.
3. Each house lot includes 4 wider-than-required parking spaces located within the 60-foot right-of-way required by the town.
4. A 10' multiuse path is located between the homes and Route 2 separated from Route 2 by a grass strip so, depending where the right-of-way for Route 2 is located, the path could be partially in the Route 2 right-of-way or just on the properties involved in this proposal.
5. Each of the five properties could have up to 6 total units north of the new access road if site plan review shows it would meet parking and wetland regulations. These units could use basement-level parking garages to meet or help meet parking requirements as is done in many new multifamily housing projects.
6. The professional office could continue the current use until additional units are added behind at which time the town could require it to be converted to residential.
7. The Crate Escape could be accessed off the new road in order to reduce curb cuts and there could be incentives to add residential uses in the future when the current use changes.

2

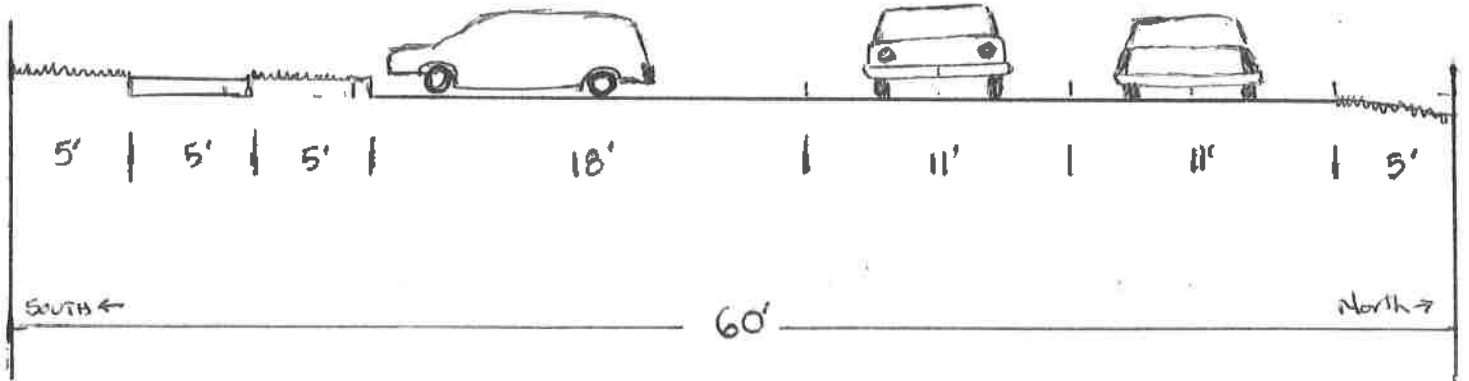
Why the Proposal for Residential Units at the Western Half of the Gateway District Should Be Supported

A. Why this would be good for the town:

1. It adds up to 37 new residential units at a time when new housing is a priority.
2. It could reduce the number of curb cuts in the Gateway from 8 to 4 making it safer for drivers and bike riders on Route 2.
3. It creates village scale housing closest to Route 2 where it is most visible and multifamily housing behind where it would be substantially shielded by the single-family homes.
4. It could provide enough housing to create a real neighborhood feel.
5. The school bus stop could be on the new street and not on Route 2, improving safety for the students and reducing traffic slowdowns on Route 2 during the morning rush hour.
6. This would make it easier for Act 250 to decide the expansion of water and sewer out to the Gateway is not sprawl.
7. It makes the entrance to the village feel like a neighborhood rather than what happens at many interstate interchanges.
8. If the single-family homes were painted in the color shown from Holland and Sweden that row of homes would, over time, become an iconic symbol of Richmond like the Round Church, Cochran Ski Area, and the red truss bridge in the village.

Why this would be good for the property owners:

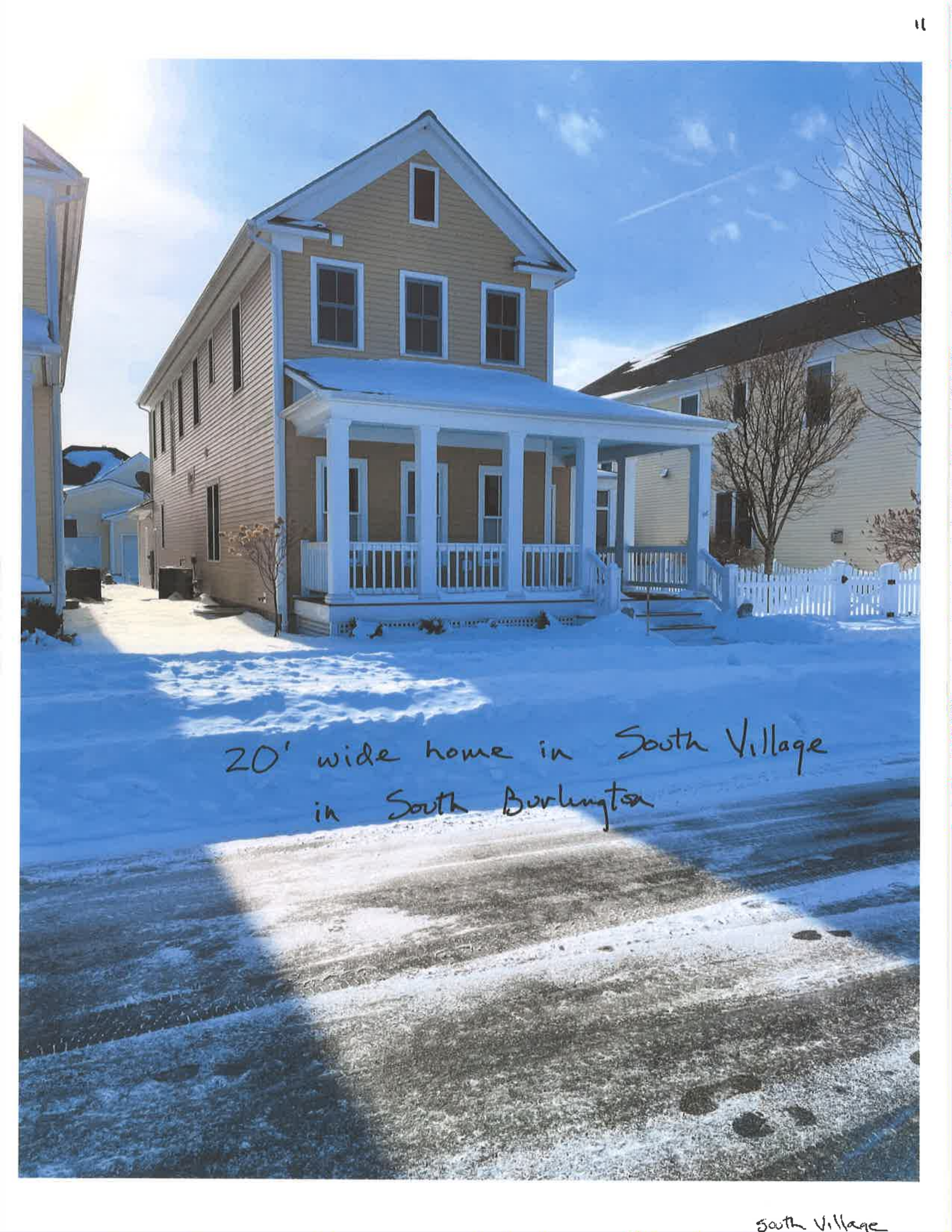
1. It allows the owners to sell off lots along Route 2 without changing what they are doing with their existing building.
2. It creates a new access road funded by the development of the 10 homes along Route 2.
3. By placing the new water and sewer lines along the new road, the distance and cost to connect to the existing buildings would be cut in half.
4. The proposal would give landowners the assurance that their neighbors were not going to sell their property for a use that might reduce the value and enjoyment of their property.



Proposed Road Profile in 60' RIGHT OF WAY
in the section of the 10 single
family homes



Entrance to Richmond Village from west
showing village scale housing.
Yellow house is 20' +/- .

A two-story yellow house with a white porch and railing, set in a snowy winter landscape. The house has a gabled roof with a small window in the peak. The porch is covered in snow, and the surrounding area is also covered in snow. A white picket fence is visible to the right of the house. The sky is blue with some light clouds. The foreground shows a snow-covered lawn and a driveway with some patches of grass and snow.

20' wide home in South Village
in South Burlington



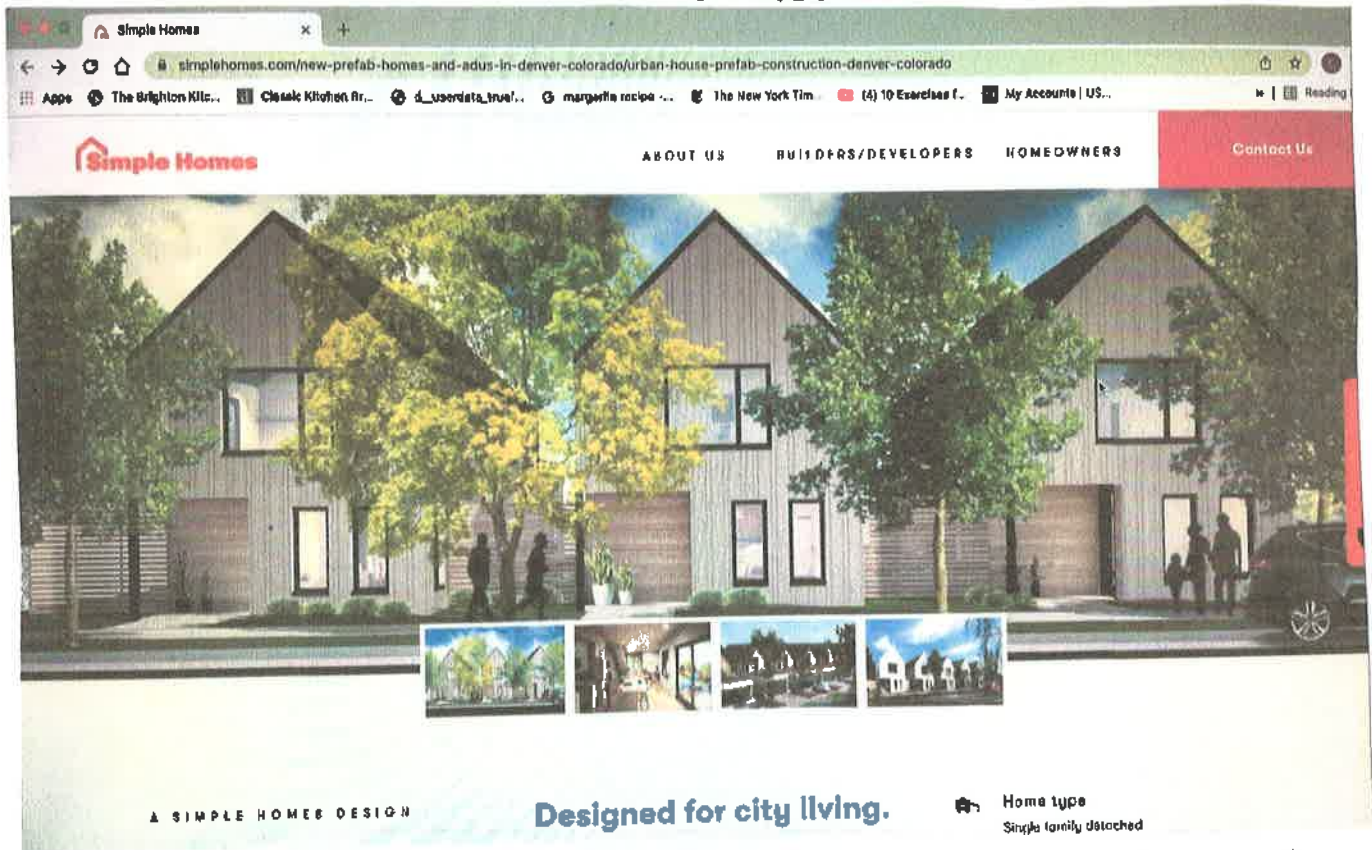
16' wide home in
Montpelier



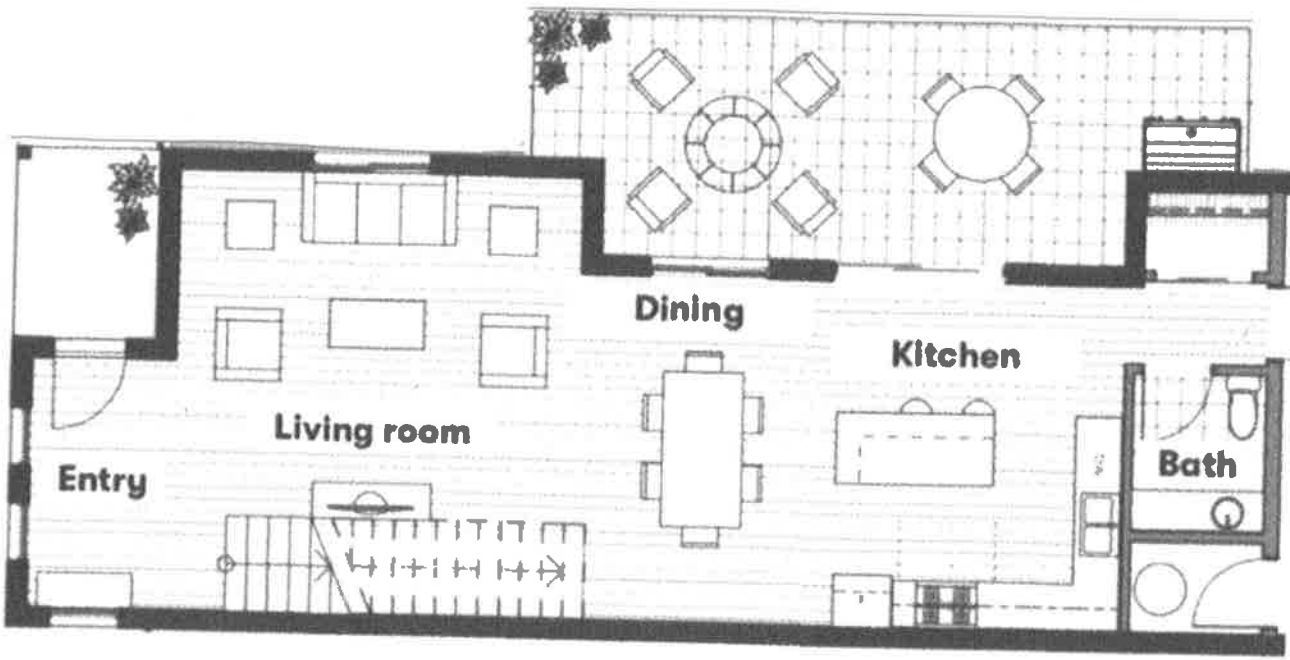
20' wide home (maybe less)
in Montpelier



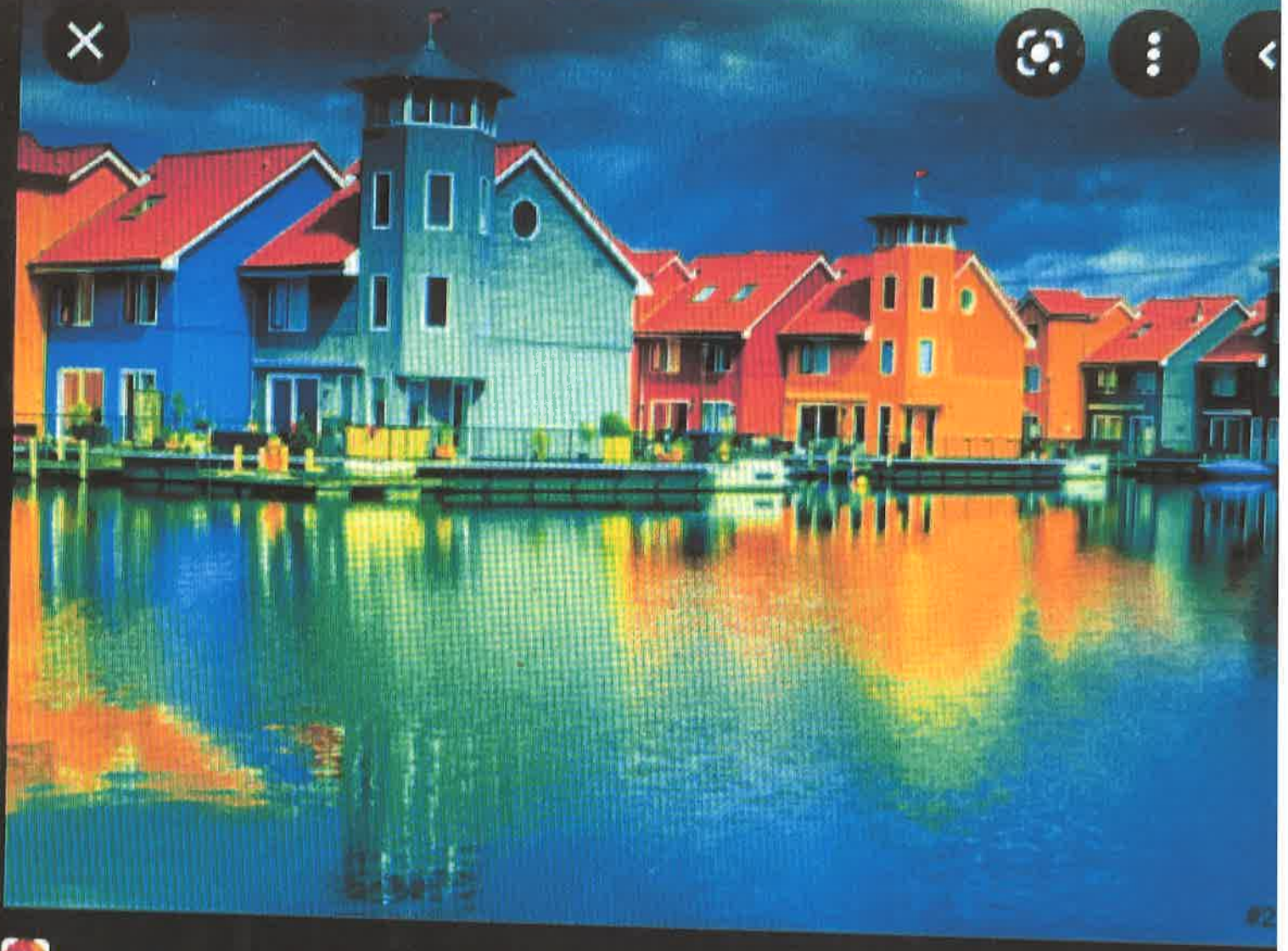
Swedish inspired homes from Simple Homes website in Denver CO.



The following photos show how the above designs could use color to make a dramatic entrance to Richmond. Denver Colorado



Floor plans of a 20'x50' from the Simple Homes website.
The drawing of the proposed layout shows 20'x50' homes.



 Crushpixel

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