



CONDITIONAL USE REVIEW

Permit # _____

Parcel ID: _____

APPLICATION

Please review the Richmond Zoning Regulations and provide all the information requested in this application. Additional local permits and approvals may also be required (such as access permits, water & sewer allocations, E911 address assignments.) For information contact the Zoning Administrative Officer at 434-2430. Other federal, state and local permits or approvals may additionally be required, it is the duty of the applicant to obtain all relevant and applicable approvals. To inquire about State permits contact the State Permit Specialist at 802-477-2241.

Application Date: March 16, 2022 Physical Address of Property: 88 Rogers Lane

Applicant Name: David Miskell Property Owner Name: J Hutchins Inc

Applicant Mailing Address: 718 Greenbush Road Owner Mailing Address: 88 Rogers Lane
Charlotte, VT 05445 Richmond, VT 05477

Phone: 802-318-0576 contact - E.J. Blouin

Phone: 802-434-3500

Email: miskstome@gmail.com Email: ej@jhutchinsinc.com

Brief description of Project: 30x40 feet Construct 2 story addition to existing office building/shop owned by

All projects which require Conditional Use approval are subject to Site Plan Review standards. J Hutchins Inc 88 Rogers Lane Richmond

Please review Section 5.5 and Section 5.6 of the Richmond Zoning Regulations. A use requiring conditional use approval by the DRB is required, at a minimum, to comply with the following general standards and specific standards:

- General Standards - A proposed use shall not result in an undue adverse effect upon:
 - The capacity of existing or planned community facilities;
 - The character of the area affected, as defined by the purpose or purposes of the zoning district in which the project is located and with specifically stated policies and standards of the Richmond Town Plan;
 - Traffic on roads and highways in the vicinity;
 - Bylaws and ordinances then in effect; and,
 - The utilization of renewable energy sources.
- Specific Standards - Conditional uses shall comply with the following specific standards:
 - Obnoxious or excessive noise, smoke, vibration, dust, glare, odors, electrical interference or heat that is detectable at the boundaries of the lot shall not be generated.
 - There shall be no outside displays except those that are brought indoors at the end of the business hours and are the actual product of the business.
 - Outside storage of goods, parts, supplies, vehicles machinery and other personal property shall be appropriate to the neighborhood and shall not impair safety.
 - Applicable state permits for water supply and sewage disposal shall have been obtained, and any other applicable state permits, before the use commences.
 - The development is proposed over a reasonable time period in order that the general and specific standards for conditional uses may be met.
 - In determining the appropriateness of the use in the Zoning District, the DRB shall consider the scale of the proposal in relation to the scale of existing uses and structures.
 - No fire, explosive, or safety hazard shall be permitted that, in the judgment of the DRB, after consideration of the advice of Richmond fire fighting officials, significantly endangers other property owners or emergency personnel.

NARRATIVE FOR CONDITIONAL USE APPLICATION

J. HUTCHINS INC 30 FOOT X 40 FOOT ADDITION OF EXISTING OFFICE/SHOP BUILDING **LOCATED AT 88 ROGERS LANE, RICHMOND VT**

J. Hutchins Inc. is a 30-year-old business yard excavation contracting company located in the Industrial Commercial and the Flood Hazard Overlay Zoning Districts. Partner firm Landshapes is a full-service landscape design-build company. All firms' jobs are off site and most employees work off site. Support staff work in the existing office building and shop. Machinery and excavation materials stored on site.

Information for the substantial improvement determination (from included Lister Card for 88 Rogers Lane)

Buildings Replacement Cost -- \$745,700

Buildings Depreciated Cost - \$446,600

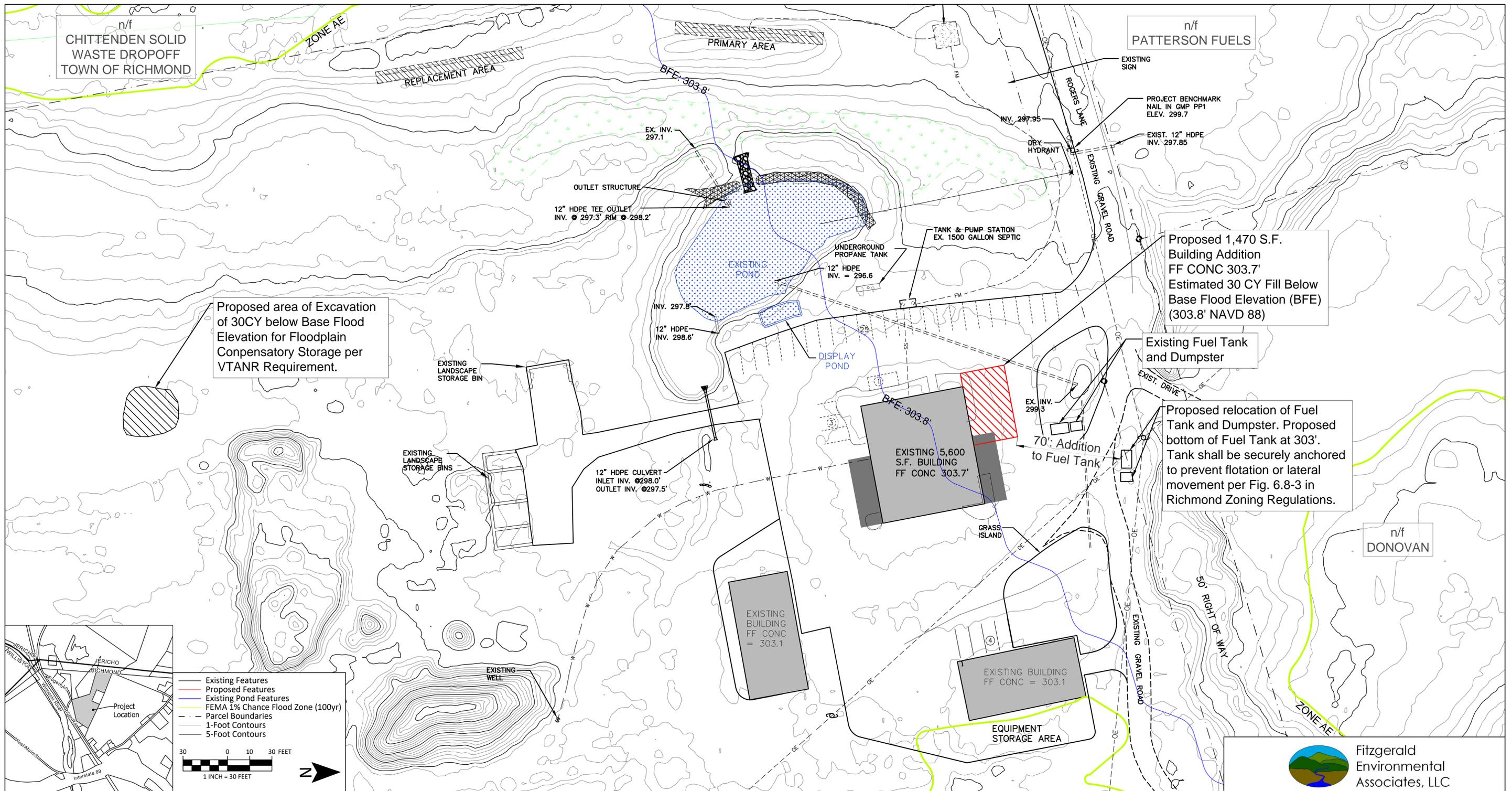
Estimated Addition Cost - \$200,000

1. The 2-story addition will be connected on the north side of the existing office/shop building
The dimensions are 30 feet wide, 40 feet long and new roof peak is 26 feet and existing roof peak is 30 feet high (see site plan and building drawings)
2. The proposed addition will be located on existing paved parking area thus not adding any additional stormwater impact
3. The proposed addition is within the Industrial/Commercial Zoning district and within the Special Flood Hazard Zoning District.
4. The lowest floor will be elevated to a minimum of one foot above the base elevation of 303.7 feet and be dry flood proofed at least 2 feet above the Base Flood Elevation (see building drawings)
5. Existing diesel fuel tank will be moved away from buildings and securely anchored, and fill and vent pipes will be elevated at least one foot above the base flood elevation. (see site plan)
6. The proposed addition is next to the J. Hutchins Inc driveway off of Rogers Lane and no impact on traffic.
7. The J. Hutchins Inc office building was constructed in 2000. The Patterson Fuels depot and Richmond Recycling are other Industrial/Commercial businesses which define the area's character.
Two houses are adjoining the Hutchins property to the North of the addition but hidden. The Rozoski home accesses through a ROW on the J Hutchins Inc driveway (see site plan)

8. The proposed addition will have floor heating in the first floor R-15 insulation under the floor and heated by a high efficiency natural gas furnace. The side walls will have R-25 insulation and the roof will be R-49. New lighting will be LED and windows will be R-4

SPECIFIC STANDARDS

1. No extra noise, etc. due to the office additions. The excavation and landscaping businesses work is mostly off site and most employees work off site.
2. No outside displays
3. No outside storage related to the addition
4. Existing Act 250 permits \$4C1064 and #4C1064-1 will be amended after Conditional Use Permit approval. Act 250 floodplain regulations requires compensatory storage of fill removed from addition site and its location is shown on site plan
5. Existing WW permits WW-4-0985-2 and WW-4-0985-3 will be amended by Steve Revell of Lincoln Applied Geology. Existing mound can be expanded within the permitted replacement area.
6. Construction will be finished within 1 year.
7. The proposed addition is appropriately connected to the existing office/shop building. Roof lines are designed for proper snow melt. Roof and structural designs will be done by Engineer Mike Dugan and will meet all State fire codes as will addition office layout.
8. No State or Municipal facilities are close by except the Richmond Recycling center which will not be impacted by proposed addition
9. The J. Hutchins Inc site undergoes annual stormwater review and the proposed addition does not affect existing stormwater plans. Three-year storm water plans and permitting will be completed in 2022 - 2023
10. No historic sites in the area.
11. Existing parking area is a Flat area for the addition
12. Labor and Industry permits will be applied for by architect Mike Dugan
13. Existing landscaping will not be affected
14. Three parking spaces will be lost but sufficient parking spaces are available to the west and south of the office building as shown on the site plan. Chart for parking on site plan shows plans meet Richmond parking regulations
15. Existing well is 2 gallons per minute and will not be affected by additional seven employees.

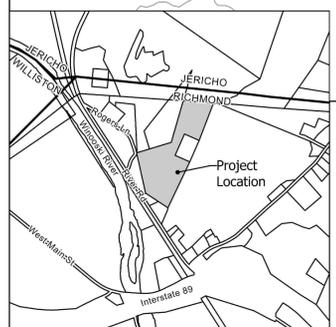


Proposed area of Excavation of 30CY below Base Flood Elevation for Floodplain Compensatory Storage per VTANR Requirement.

Proposed 1,470 S.F. Building Addition
FF CONC 303.7'
Estimated 30 CY Fill Below Base Flood Elevation (BFE) (303.8' NAVD 88)

Existing Fuel Tank and Dumpster

Proposed relocation of Fuel Tank and Dumpster. Proposed bottom of Fuel Tank at 303'. Tank shall be securely anchored to prevent flotation or lateral movement per Fig. 6.8-3 in Richmond Zoning Regulations.



Existing Features
 Proposed Features
 Existing Pond Features
 FEMA 1% Chance Flood Zone (100yr)
 Parcel Boundaries
 1-Foot Contours
 5-Foot Contours

30 0 10 30 FEET
 1 INCH = 30 FEET

- NOTES**
- Contours generated from 2017 VCGI Digital Elevation Model (0.7m)
 - Building footprints and elevations from Civil Engineering Associates Inc. 2015 Existing Conditions Site Plan.
 - Parking areas, pavement, utilities and stormwater mapping from 2007 Civil Engineering Associates Inc. 2007 Site and Grading Plan.
 - Proposed Addition digitized by FEA from 2022 Michael Dugan Additions and Renovations Plan.
 - Updated locations of Fuel Tank and Dumpster digitized by FEA.

LOT OWNER/APPLICANT -- J. HUTCHINS INC.
 LOT LOCATION: 88 ROGERS LANE, RICHMOND
 ZONING DISTRICT: COMMERCIAL, PORTION WITHIN FLOOD HAZARD OVERLAY

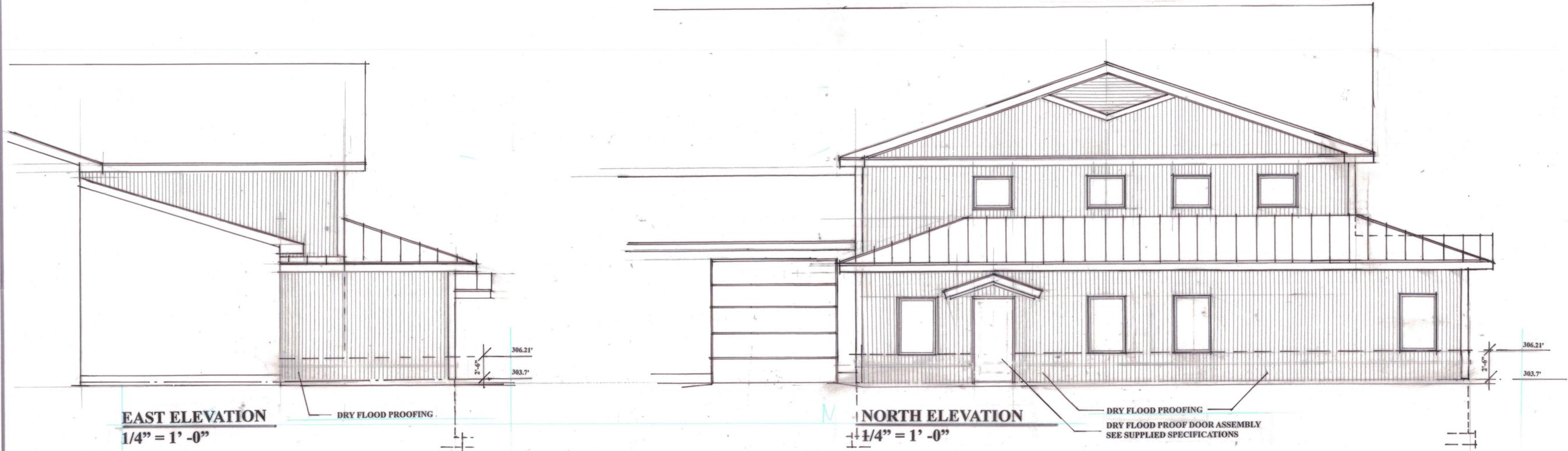
	REQUIRED	EXISTING	PROPOSED
LOT SIZE	1.0 AC*	25.51 AC	25.51 AC
BUILDING COVERAGE	n/a	13,280 S.F. = 1.2%	14,750 S.F. = 1.3%
SITE COVERAGE	n/a	76,759 S.F. (INCL. FARM RD)	UNCHANGED
TOTAL COVERAGE	50% MAX.	90,039 S.F. = 8.1%	UNCHANGED
SETBACKS			
FRONT	50' ALL STRUCTURES	>300'	295'
REAR	15' BLDG. / 10' ACC. BLDG.	158'	UNCHANGED
SIDE	15' BLDG. / 10' ACC. BLDG.	116'	101'
BUILDING HEIGHT	35' MAX.	32' APPROX.	26' APPROX.
PARKING	31 STANDARD & 1 HC	32 STANDARD & 1 HC	UNCHANGED

Fitzgerald Environmental Associates, LLC
 18 Severance Green, Suite 203
 Colchester, VT 05446
 Telephone: 802.876.7778
www.fitzgeraldenvironmental.com

PLANNED DEVELOPMENT
PROPERTY OF J. HUTCHINS, INC.
 88 ROGERS LANE
 RICHMOND, VERMONT
**SITE PLAN
 FOR BUILDING ADDITION**

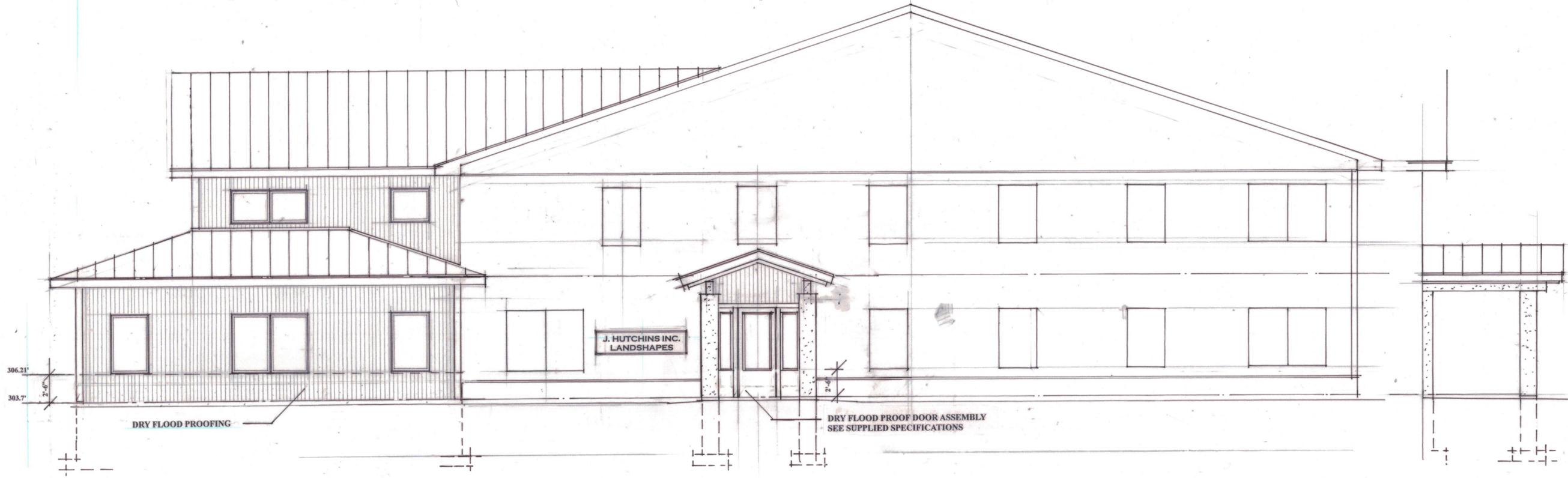
PERMIT PLANS FOR TOWN CONDITIONAL USE APPROVAL
 NOT FOR CONSTRUCTION

22025
 PROJ. NUMBER
 May 18, 2022
 DATE
 REVISED
 AS SHOWN
 SCALE
 FCP
 DRAWN
 EPF
 CHECKED
SHEET 1
 SHEET NO.



EAST ELEVATION
1/4" = 1' - 0"

NORTH ELEVATION
1/4" = 1' - 0"



WEST ELEVATION
1/4" = 1' - 0"

NOTE:
GENERAL CONTRACTOR IS TO VERIFY ALL DIMENSIONS ON THIS DRAWING PRIOR TO CONSTRUCTION.
GENERAL CONTRACTOR IS TO VERIFY ALL SITE CONDITIONS PRIOR CONSTRUCTION.

CONSTRUCTION
This drawing is the property of MICHAEL L. DUGAN ARCHITECT and is not to be copied, reproduced, or otherwise used without the written permission or consent of MICHAEL L. DUGAN ARCHITECT

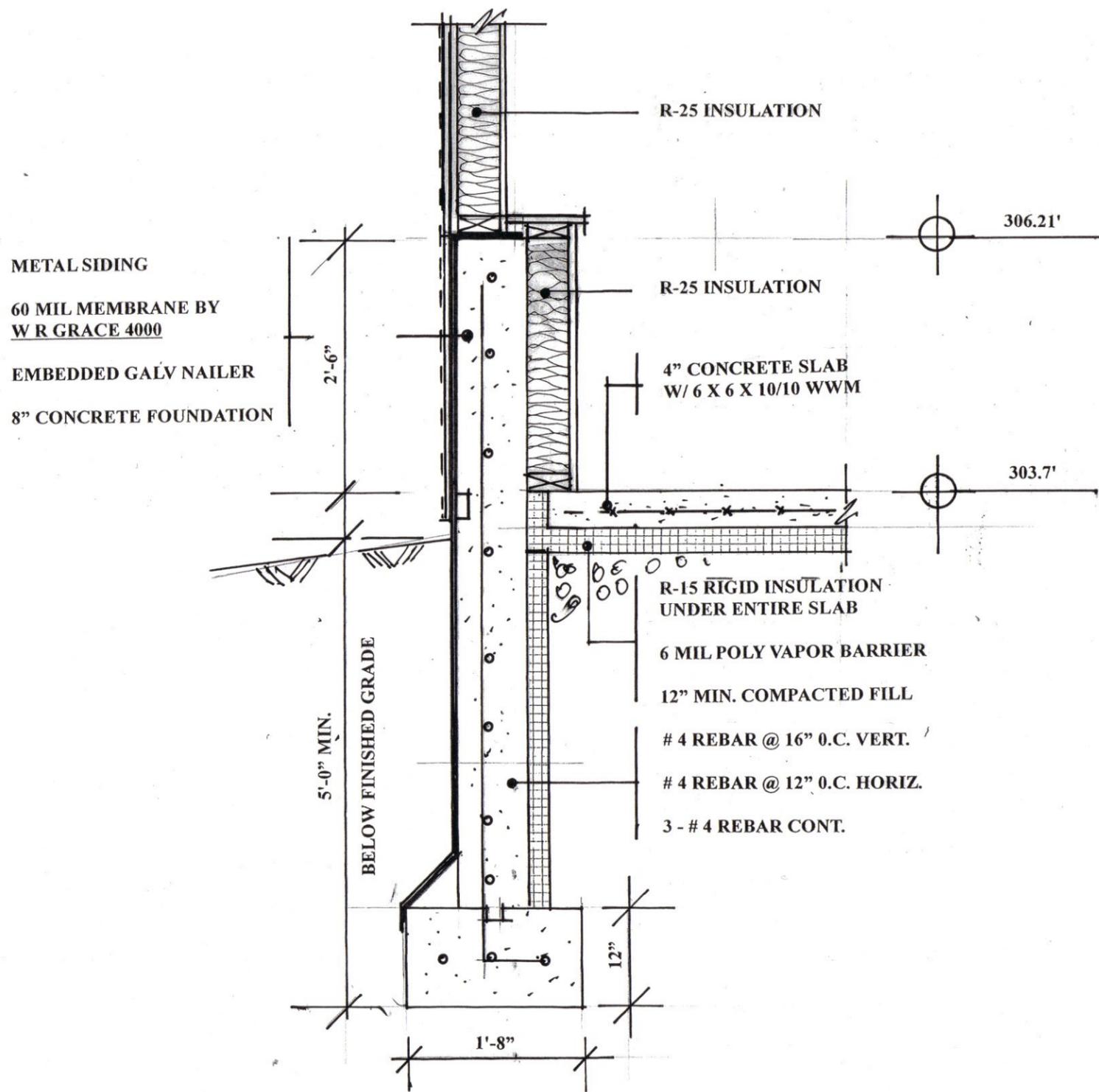
WEST ELEVATION
NORTH ELEVATION
EAST ELEVATION

MICHAEL DUGAN ARCHITECT
48 PARK STREET
ESSEX JUNCTION, VT 05452
TEL: 802-878-0000
FAX: 802-878-0000
EMAIL: MDD@MICHAELDUGAN.COM

ADDITIONS AND RENOVATIONS
TO
J. HUTCHINS INC.
88 ROGERS LANE
RICHMOND VERMONT

MAY 13, 2022

A3



**DRY FLOOD PROOFING
FOUNDATION DETAILS**
3/4" = 1'-0"

MICHAEL DUGAN
ARCHITECT



48 PARK STREET
ESSEX JUNCTION, VT 05452
802-878-0070
FAX: 802-878-0030
EMAIL: MDUGANARCH@AOL.COM



**ADDITIONS AND RENOVATIONS
TO
J. HUTCHINS INC.**
88 ROGERS LANE
RICHMOND VERMONT

MAY 13, 2022

Flood Resistant Opening



Factory Mutual Global studies have shown that flooding costs companies an average of \$2-\$3 billion in losses annually worldwide making it the most costly natural hazard globally. Because of this staggering figure, Ceco Door is proud to add a Flood Resistant Opening to our specialty product line. This dry flood proofing system is intended to be used in environments where a facility is at risk for flooding. The opening is designed and tested to keep flood water depths up to 36" from entering critical buildings and limiting interior damage.

The Ceco Flood Resistant Opening has been tested to the American National Standard for Flood Abatement Equipment ANSI/FM Approvals 2510-2014 section 4.3.3. This is a passive system that can protect against flood waters at any time while closed. Flood openings should be installed in a seated position (water pressure against the pull side of the door).

Applications:

- Pump rooms
- Mechanical and electrical rooms
- Flood prone areas
- Metro transit
- Marinas
- Aquariums
- Waste water treatment

Ceco Door
 9159 Telecom Drive • Milan, TN 38358
 Tel (888) 232-6366 • Fax (888) 232-6462
 archhelp@cecodoor.com • www.cecodoor.com

Experience a safer
 and more open world

Flood Resistant Opening Features:

- Tested for water depths up to and including 36" to standards set forth by ANSI/FM Approvals 2510-2014 (section 4.3.3.) not exceeding maximum allowable water
- Up to and including 3'0"x7'0" size openings
- Passive flood assembly consists of flood resistant door, frame and perimeter seal system and 1 year warranty

Door:

- Single flush steel stiffened with continuously welded edge seams
- 16 - 12 gauge face sheets with A60 steel standard or G90 steel optional
- Optional stainless steel construction also available
- 10" x 10" vision light available

Frame:

- 4 sided continuously welded
- 14 - 12 gauge frames with A60 steel standard or G90 steel optional
- Stainless steel also available
- Must be fully grouted and caulked by others

Hardware/Seal System:

- Tested with cylindrical lock and three heavy weight hinges. Other hardware preps are available. Hardware by others
- EDPM adjustable rubber perimeter seal system with retainer clips included with the assembly



n/f SPENCE
2064 JERICHO RD
RICHMOND

n/f PATTERSON FUELS
PO BOX 253
RICHMOND

n/f DONOVAN
PO BOX 365
RICHMOND

n/f COLE
118 VT ROUTE 117
JERICHO

n/f ROSOVSKY
PO BOX 176
RICHMOND

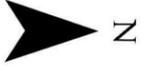
n/f FALCON PROPERTY
MANAGEMENT PARTNERS INC.
545 CEDAR LANE
TEANECK, NJ

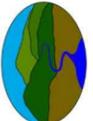
n/f WILLIAM DONOVAN INC.
PO BOX 365
RICHMOND

n/f BOARDWALK LLC.
88 ROGERS LANE
RICHMOND

n/f CSWD RICHMOND

 Proposed Addition
 Existing Buildings
 Parcel Boundaries

 N
 0 250 500 Feet

 Fitzgerald Environmental Associates, LLC
 18 Severance Green, Suite 203
 Colchester, VT 05446
 Telephone: 802.876.7778
www.fitzgeraldenvironmental.com

Notes:
- VCGI Imagery from 2018.

Property of J Hutchins, Inc.
Parcel and Abutter Map
Richmond, VT

MAP BY	FCP	EPF
		CHECKED

SCALE: 1 inch = 250 feet

DATE: May 18, 2022

SHEET NO. SHEET 2

J. Hutchins Inc. - Adjoining Property List

Adjoiner Name: Boardwalk LLC
Address: 88 Rogers Lane
Town: Richmond
State: VT

Adjoiner Name: Peter Brown, Falcon Property Management Partners Inc.
Address: 545 Cedar Lane
Town: Taeneck
State: NJ

Adjoiner Name: Judith Rosovsky
Address: PO Box 176
Town: Richmond
State: VT

Adjoiner Name: William Donovan
Address: PO Box 365
Town: Richmond
State: VT

Adjoiner Name: Town of Richmond, Transfer Station
Address: PO Box 285
Town: Richmond
State: VT

Adjoiner Name: 99 Rogers Lane LLC, c/o Patterson Fuels
Address: PO Box 253
Town: Richmond
State: VT

Adjoiner Name: Timothy Cole (Jericho Parcel N118)
Address: Trustees of Cole Living Trust, 118 VT RT 117
Town: Jericho
State: VT

Adjoiner Name: CBB Enterprises LLC.
Address: 1193 Main Street
Town: Fairfax
State: VT

Adjoiner Name: Ernest Spence
Address: 2064 Jericho Rd
Town: Richmond
State: VT

