

GENERAL NOTES

RECORD OF OWNERSHIP

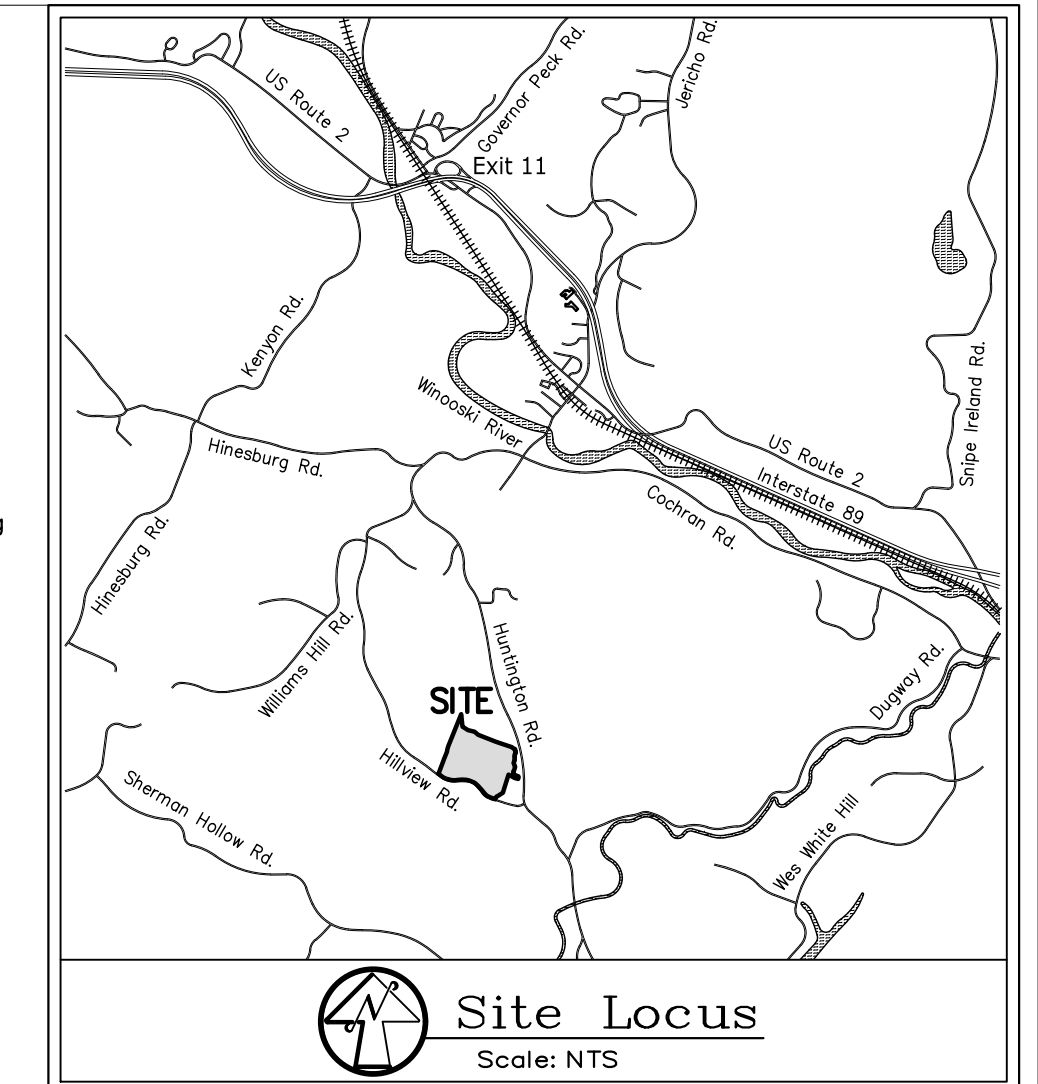
Hillview Heights, LLC
1 Green Tree Drive
South Burlington, VT 05403

TOPOGRAPHY PROVIDED BY:
CROSS CONSULTING ENGINEERS, P.C.
103 FAIRFAX ROAD
ST. ALBANS, VT 05478

ANTICIPATED CONSTRUCTION SCHEDULE:

Start: Spring 2022
Complete: Fall 2024

- The contractor shall be responsible for verifying and determining the location, size and elevation of all existing utilities shown or not shown on this plan prior to the start of construction. The engineer shall be notified, in writing, of any utilities found interfering with the proposed construction and appropriate remedial action shall be taken before proceeding with the work. The contractor shall verify all dimensions and elevations in the field before commencing construction and notify the engineer, in writing, of any discrepancy found.
- See specifications for Soil Test Pit Logs. See sheet C-2 for test pit locations.



Sheet Number	Sheet Title
C-1	Master Site Plan
C-2	Existing Conditions Plan
C-3	Grading Plan - Lots 1 & 2
C-4	Grading Plan - Lots 3, 4 & 5
C-5	Grading Plan - Lot 7
C-6	Grading Plan - Lot 6
C-7	Sanitary and Potable Water Plan - Lots 1 & 2
C-8	Sanitary and Potable Water Plan - Lot 3
C-9	Sanitary and Potable Water Plan - Lots 4 & 5
C-10	Sanitary and Potable Water Plan - Lot 7
C-11	Sanitary and Potable Water Plan - Lot 6
C-12	Sanitary and Potable Water Specifications & Details
C-13	Road Plan and Profile
C-14	Filtering System Plan and Profile
C-15	Gravel Wetland 1 Plan and Profile
C-16	Gravel Wetland 2 Plan and Profile
C-17	Gravel Wetland 3 Plan and Profile
C-18	Post-Construction Soil Depth Plan
C-19	Stormwater Maintenance Plan
C-20	Details
EX-2	Partial Wetland Exhibit

LEGEND

	EXISTING	PROPOSED
DRAINAGE MANHOLE		
CATCH BASIN		
END SECTION		
SEWER MANHOLE		
SEWER CLEANOUT		
HYDRANT		
END CAP		
GATE VALVE		
WELL		
UTILITY POLE		
GUY WIRE		
LIGHT POLE		
WALL PACK LIGHT		
TRANSFORMER BOX		
TELEPHONE BOX		
ELEVATION BENCHMARK		
PROPERTY LINE		
RIGHT-OF-WAY		
CENTERLINE OF ROAD		
STORMDRAIN		
UNDERDRAIN		
GRAVITY SANITARY SEWER		
PRESSURE SANITARY SEWER		
WATER MAIN/SERVICE		
GAS MAIN/SERVICE		
OVERHEAD UTILITY		
UNDERGROUND UTILITY		
OVERHEAD ELECTRICAL		
UNDERGROUND ELECTRICAL		
OVERHEAD TELEPHONE		
UNDERGROUND TELEPHONE		
STREAM/DRAINAGE SWALE		
WETLAND DELINEATION		
WETLAND BUFFER		
EDGE OF WOODS		
CONTOURS		

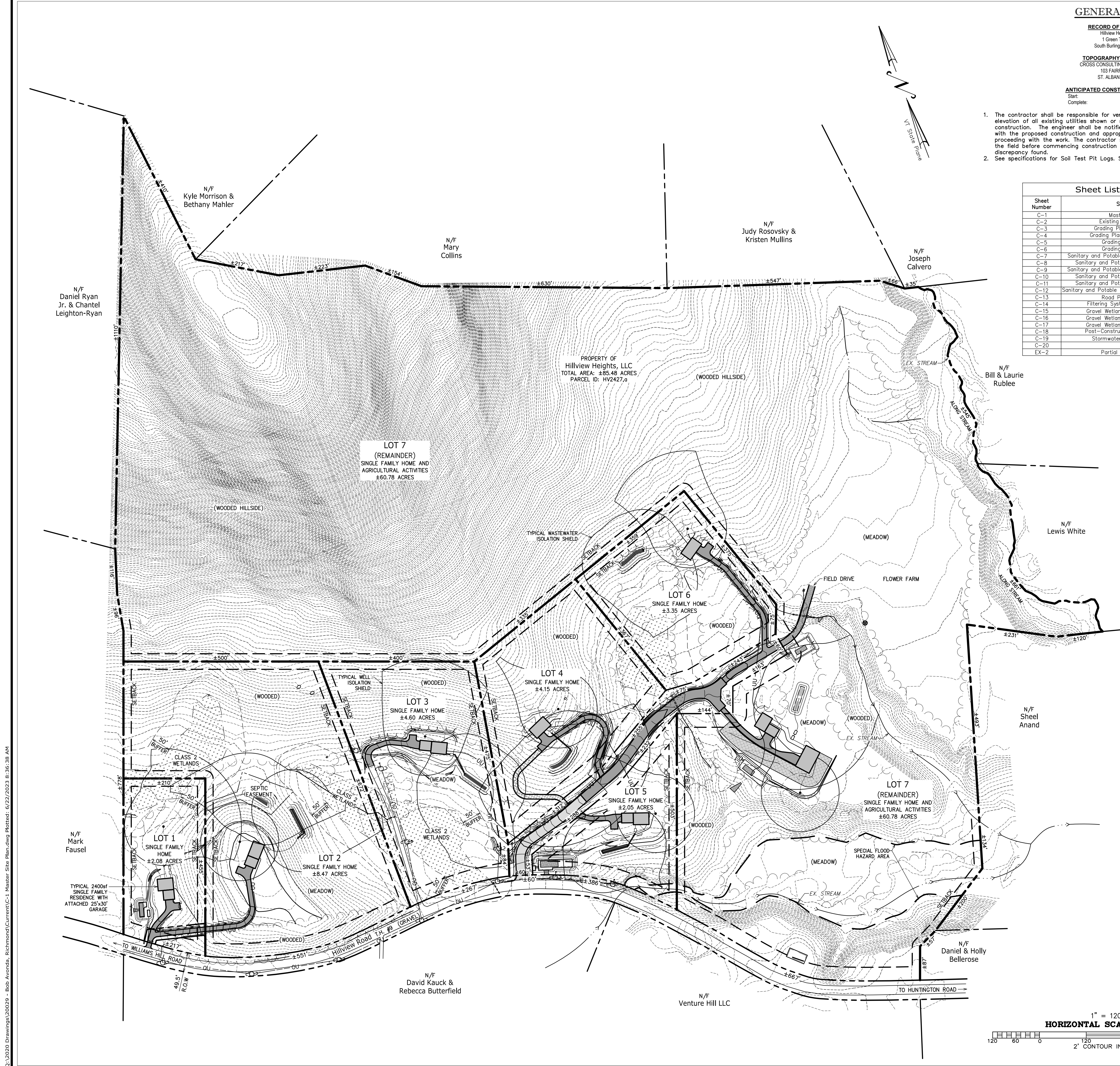
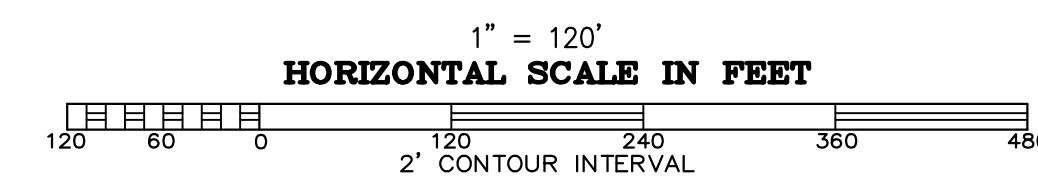
NOTE: LEGEND MAY INCLUDE SYMBOLS AND LINES NOT RELEVANT TO THIS PROJECT

TOWN OF RICHMOND ZONING DATA

ZONING DISTRICT: Agricultural/Residential (AR)
ZONING OVERLAY: Special Flood Hazard Area (SFHA)
EXISTING LAND USE: Residential and Agricultural
PROPOSED LAND USE: Residential and Agricultural

	Requirements	Proposed
Min. Lot Area	1 acre	>2.05 acres
Min. Lot Width	50 FT	>100 FT
Front Yard Setback	35 FT	>35 FT
Side Yard Setback	20 ft	>50 FT
Rear Yard Setback	20 ft	>50 FT
Max. Lot Coverage	30%	<10%
Max. Building Height	35 ft	<35 FT

Source: Town of Richmond Land Development Regulations, 2020



PROJECT: 20029
DATE: February 23, 2022
DESIGN: PJG
DRAWN: RHW/NRB
CHECKED: PJG
APPROVED: PJG

Tel: 802-524-2113
Fax: 802-524-9681

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Master Site Plan

Hillview Heights, LLC
South Burlington, VT

Hillview Heights Subdivision

Hillview Road
Richmond, VT

REVISIONS:
2022-04-07: UPDATED LOT NUMBERS, UPDATED DESIGN, ADDED A STATED SCALE PER ANR.
2023-04-27: REVISED SHEET NAME, ADDED LOT USES AND REVISED LOTS 1 AND 2, SUBMITTED FOR PERMITS.

CIVIL
C-1

PERMITTING
SHEET C-1 OF 20

LEGEND

- WOODED AREA TO BE REMOVED
- GRAVEL DRIVE TO REMAIN
- GRAVEL DRIVE TO BE IMPROVED
- EXISTING FOUNDATION TO REMAIN
- EXISTING FOUNDATION TO BE REMOVED
- EXISTING WETLANDS

ABBREVIATIONS:

- EX EXISTING
- TBA TO BE ABANDONED
- TBI TO BE IMPROVED
- TBR TO BE REMOVED
- TBRM TO BE REPLACED
- TRM TO REMAIN
- TYP TYPICAL

TYPICAL TEST PIT LOCATION
 13 ← TEST PIT NUMBER
 53" ← DEPTH OF WATER TABLE
 NOTE: 999" - NO MOTTLES OBSERVED

NOTE: SEE SPECIFICATIONS FOR TEST PIT LOG.



PROPERTY OF Hillview Heights, LLC
 TOTAL AREA: ±65.48 ACRES

N/F David Kauck & Rebecca Butterfield

N/F Venture Hill LLC



PERMITTING

Q:\2020 Drawings\20029 - Bob Avondale, Richmond\Current\C-2 Existing Conditions Plan.dwg Plotted: 6/22/2023 8:53:23 AM

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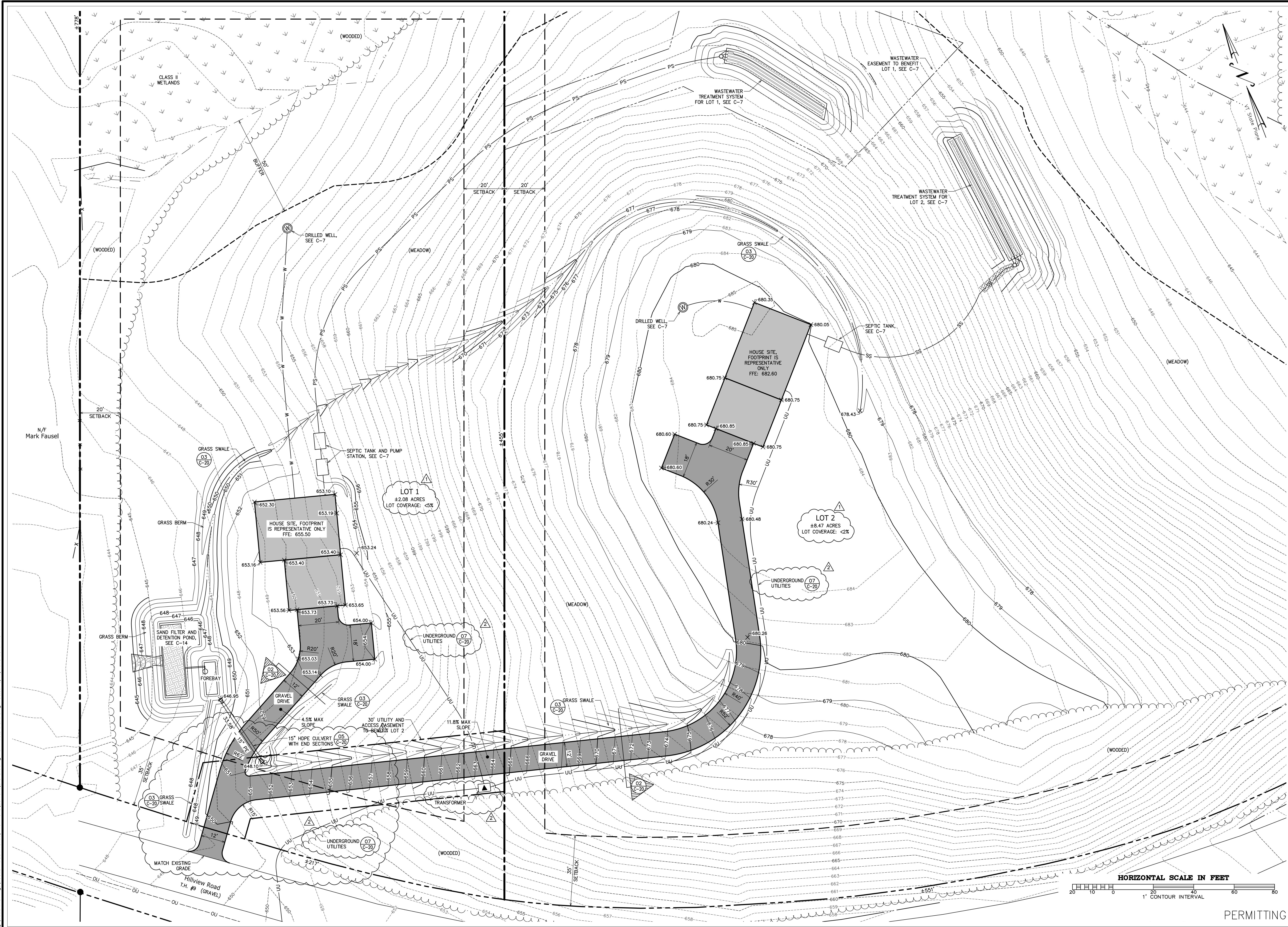
Existing Conditions Plan

REVISED: 2022-06-21: REVISED TEST PIT SYMBOLS AND ADDED THE INFILTRATION TEST LOCATION.
 2022-12-27: ADDED THE ABANDONED HOUSE ALONG HILLVIEW ROAD TO THE PLAN.
 2023-06-22: ALL EXISTING OVERHEAD UTILITIES ARE TO BE ABANDONED.

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 South Burlington, VT
 Hillview Heights Subdivision
 Hillview Road
 Richmond, VT

CIVIL
C-2
 SHEET C-2 OF 20

Q:\2020 Drawings\20029 - Bob Avonds, Richmond\Current\C-3 Grading Plan - Lots 1 & 2.dwg Plotter: 6/22/2023 10:17:15 AM



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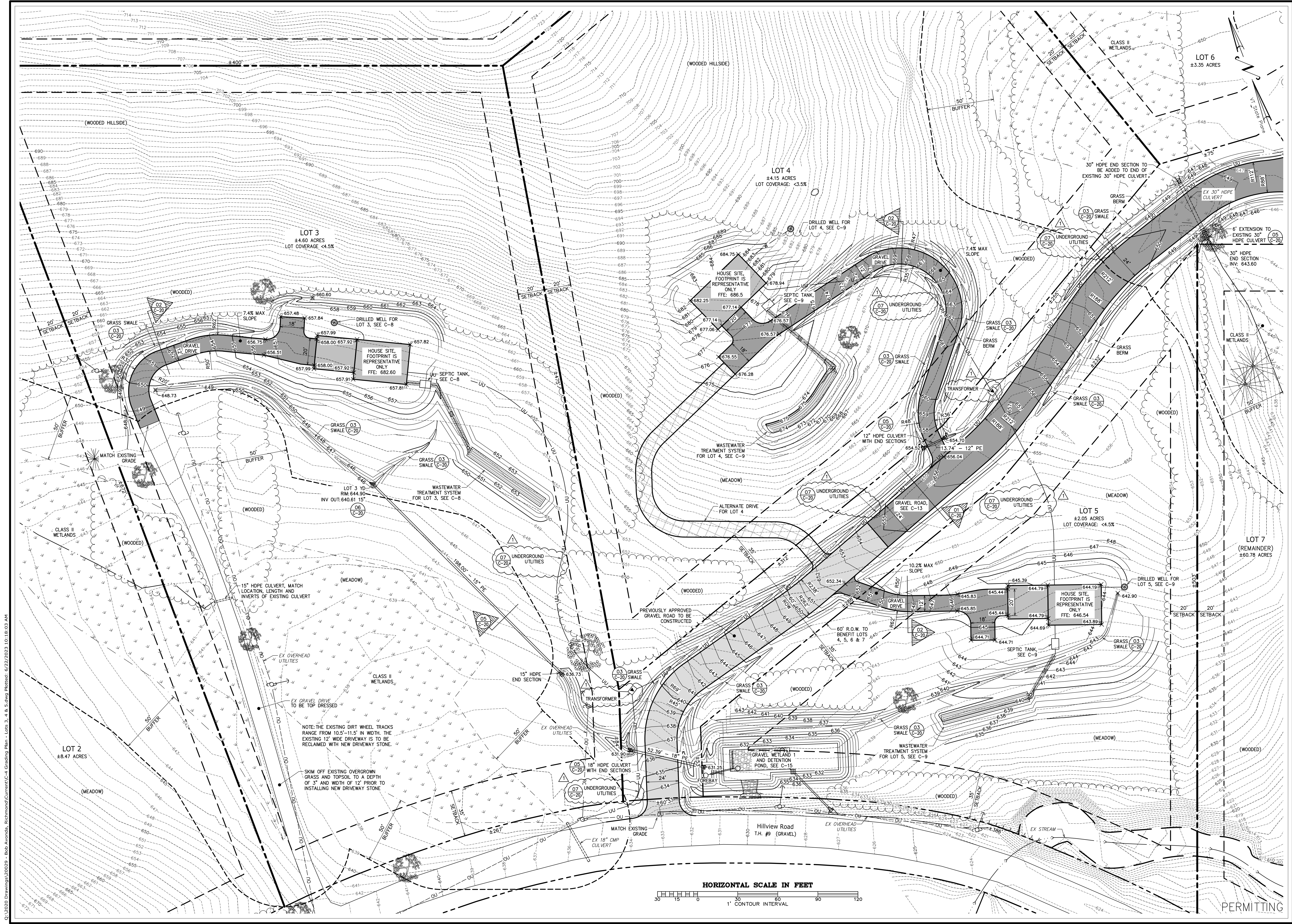
Grading Plan - Lots 1 & 2

REVISED: 2023-04-27: REVISED BOUNDARIES OF LOTS 1 AND 2, COMBINED THE TWO CURB CUTS INTO ONE AND ADDED AN EASEMENT FOR LOT 2.
2023-06-22: ADDED UNDERGROUND UTILITY SERVICES AND TRANSFORMERS.

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South Burlington, VT

Hillview Heights Subdivision
Hillview Road
Richmond, VT

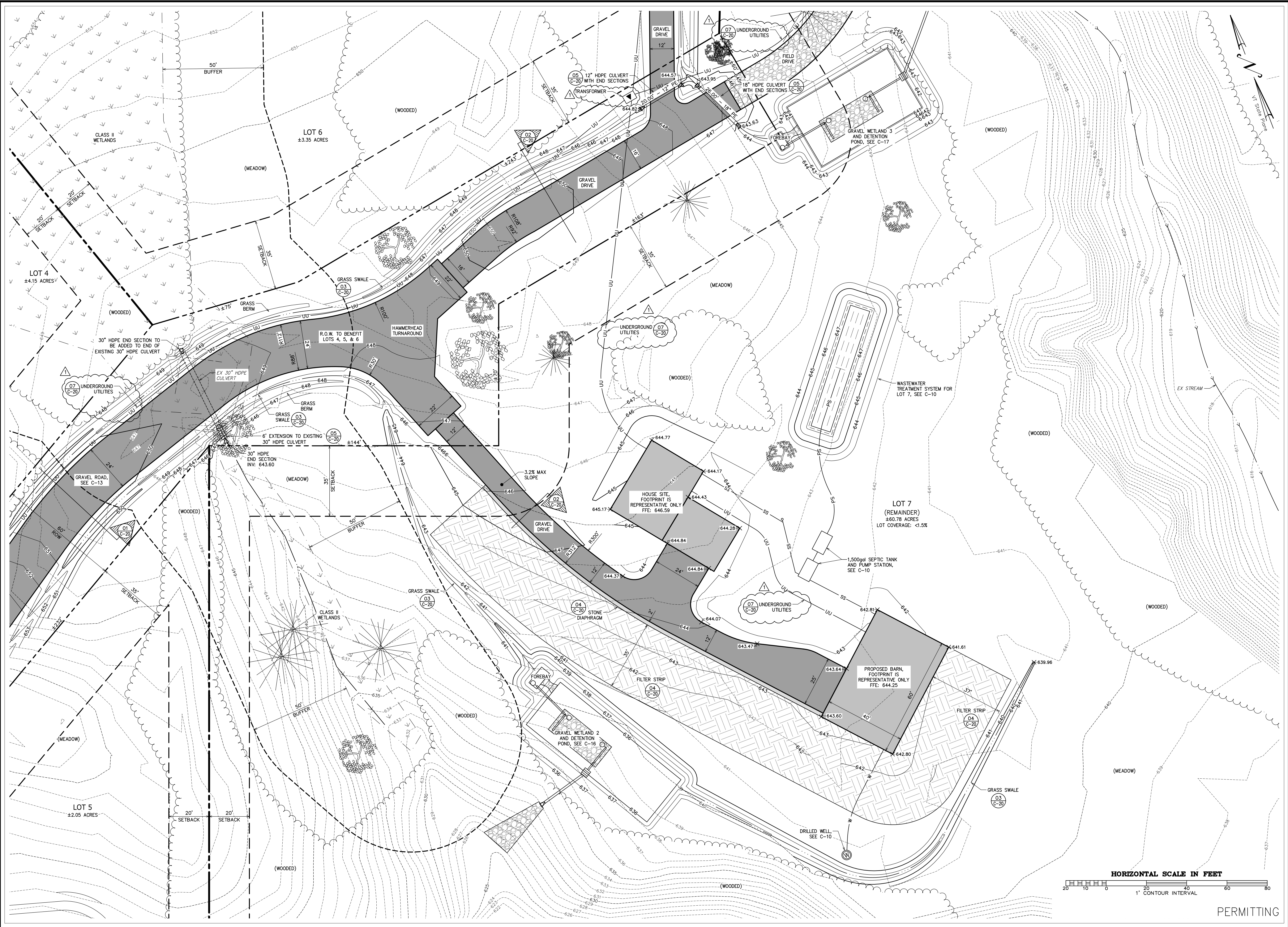
CIVIL
C-3
SHEET C-3 OF 20



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<p>PROJECT: 20029 DATE: February 23, 2022 DESIGN: PJG DRAWN: RHW/NRB CHECKED: PJG APPROVED: PJG</p>	<p>TEL: 802-524-2113 FAX: 802-524-9681</p> <p style="text-align: center;">CROSS CONSULTING ENGINEERS, P.C.</p> <p style="text-align: center; font-size: small;">103 Fairfax Rd. St. Albans, Vermont 05478 © COPYRIGHT 2023 Cross Consulting Engineers, P.C.</p>
<p>Grading Plan - Lots 3, 4 & 5</p>	
<p>Hillview Heights, LLC South Burlington, VT</p>	
<p>Hillview Heights Subdivision</p>	
<p>Richmond, VT Hillview Road</p>	
<p>REVISIONS: 2023-06-22: ADDED UNDERGROUND UTILITY SERVICES AND TRANSFORMERS.</p>	
<p>CIVIL</p>	
<p>C-4</p>	
<p>SHEET C-4 OF 20</p>	

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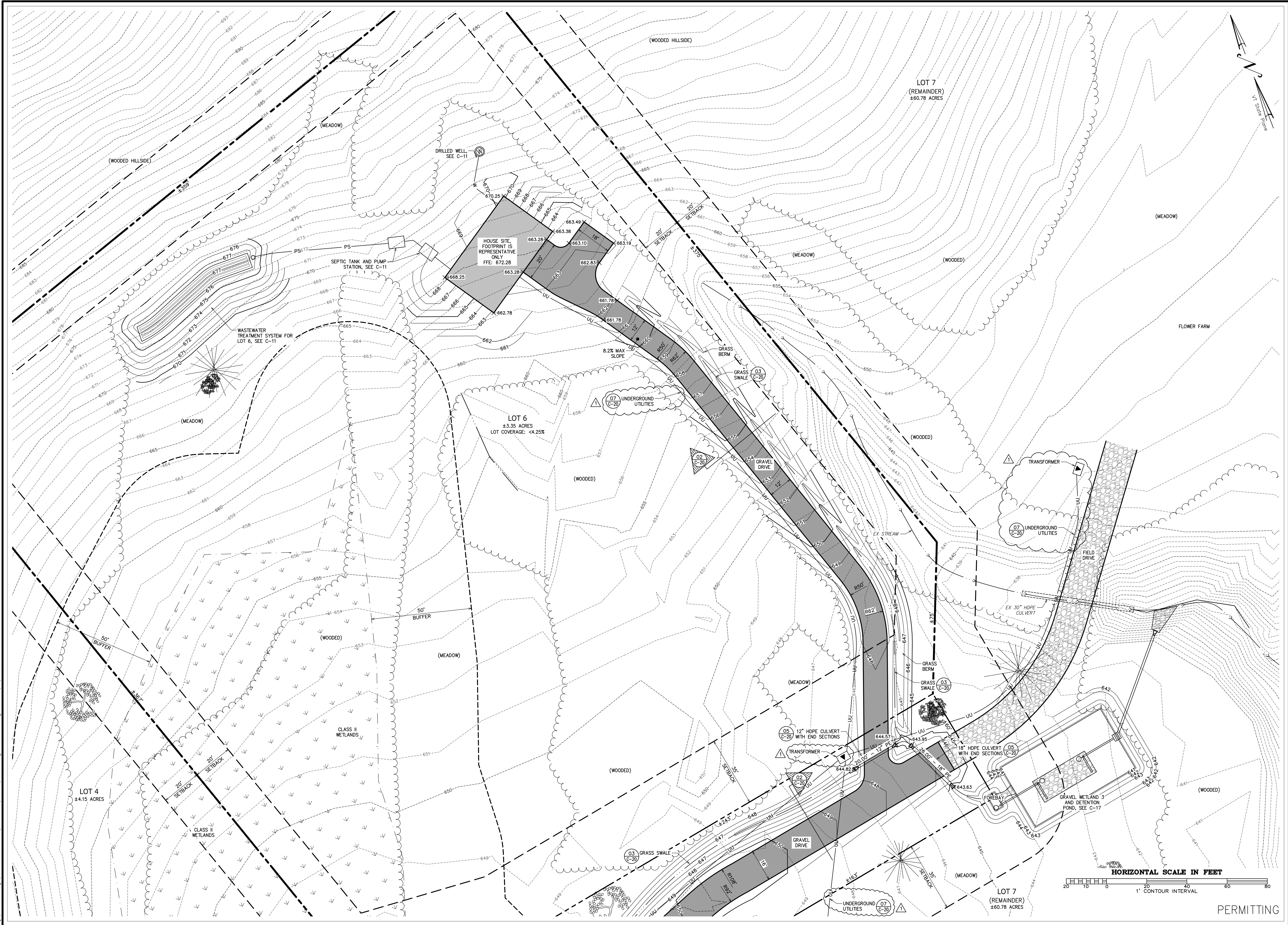
Grading Plan - Lot 7

Hillview Heights, LLC
 South Burlington, VT
Hillview Heights Subdivision
 Hillview Road

CIVIL
C-5
 SHEET C-5 OF 20

REVISION: 2023-06-22 ADDED UNDERGROUND UTILITY SERVICES AND TRANSFORMERS.

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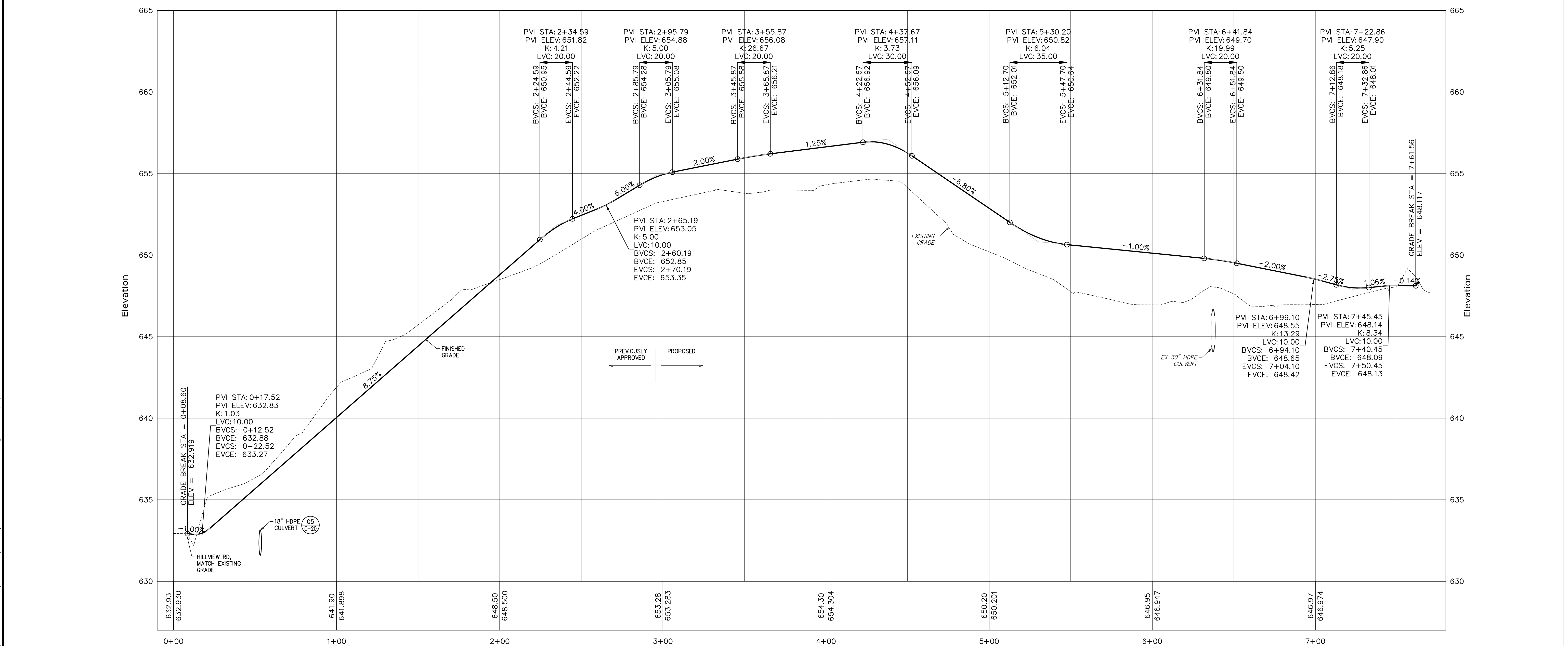
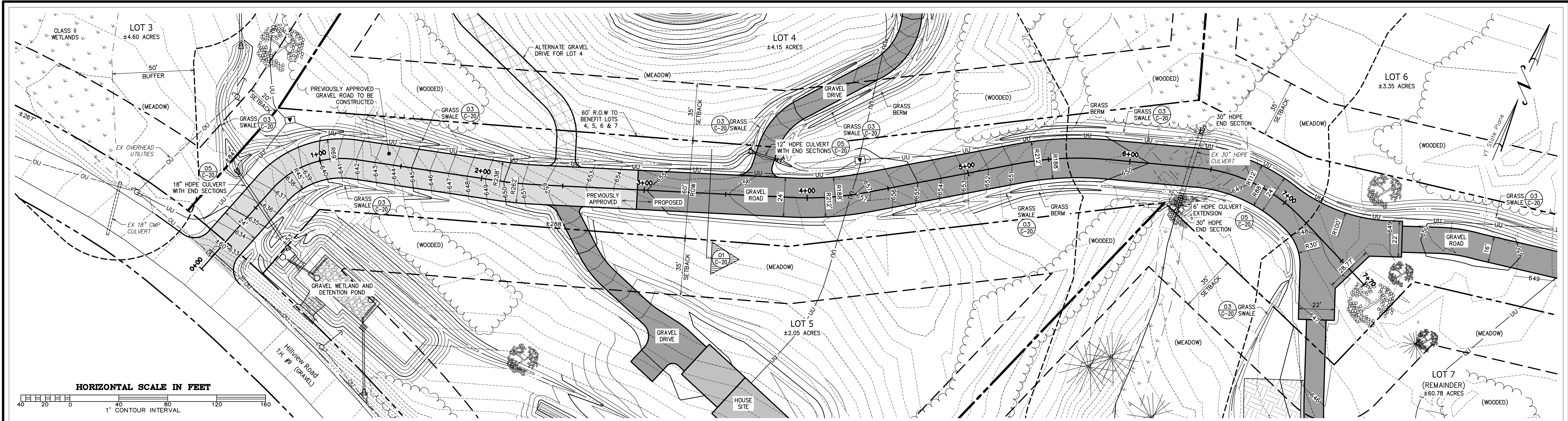
Grading Plan - Lot 6

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South Burlington, VT
Hillview Heights Subdivision
Hillview Road
Richmond, VT

CIVIL
C-6
SHEET C-6 OF 20

REVISIONS:
2023-06-22: ADDED UNDERGROUND UTILITY SERVICES AND TRANSFORMERS.

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Proposed Gravel Road -0+10 to 7+80 Profile
 Horizontal Scale: 1" = 30'
 Vertical Scale: 1" = 3'

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Road Plan And Profile

Hillview Heights, LLC
 South Burlington, VT

Hillview Heights Subdivision

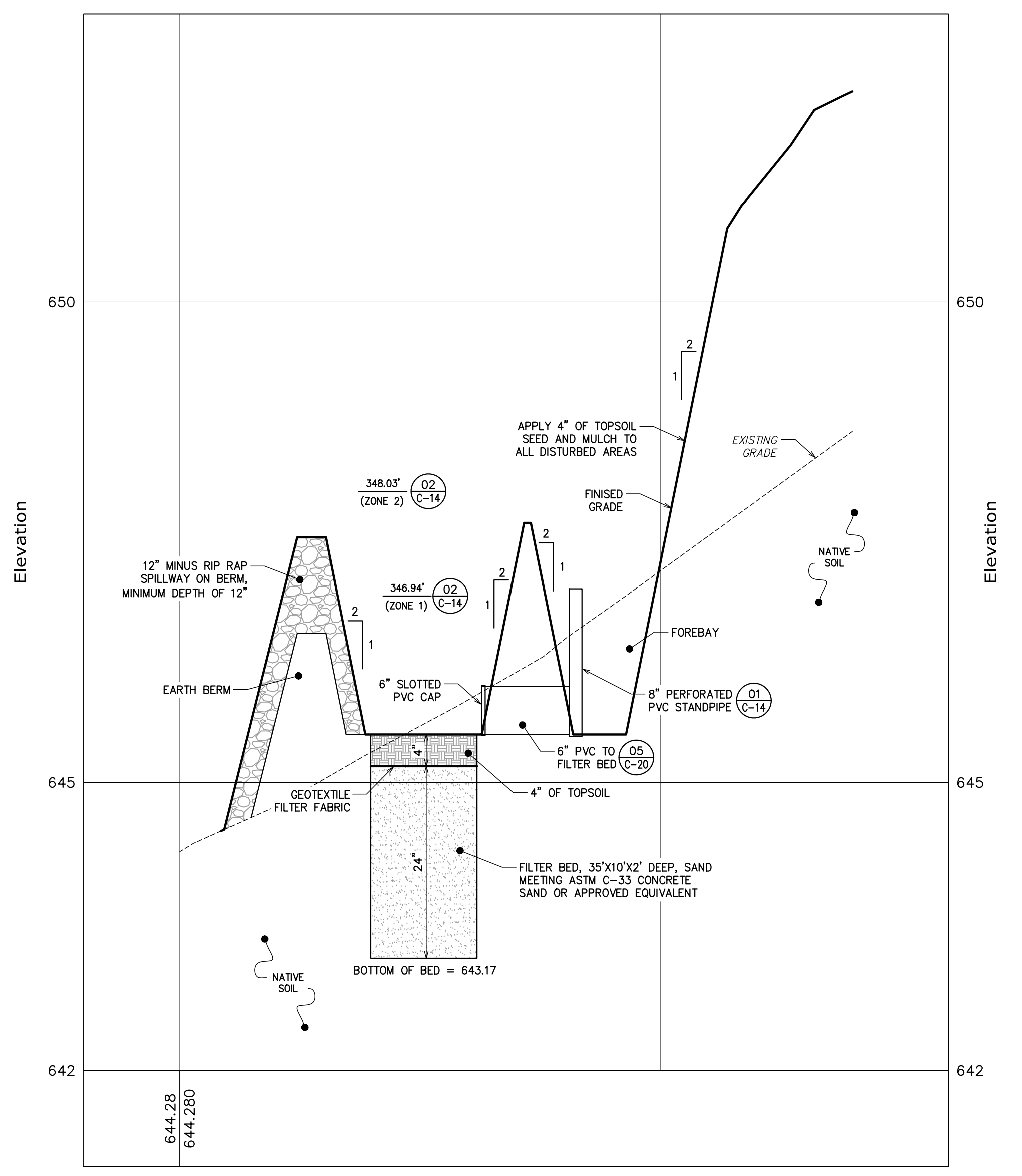
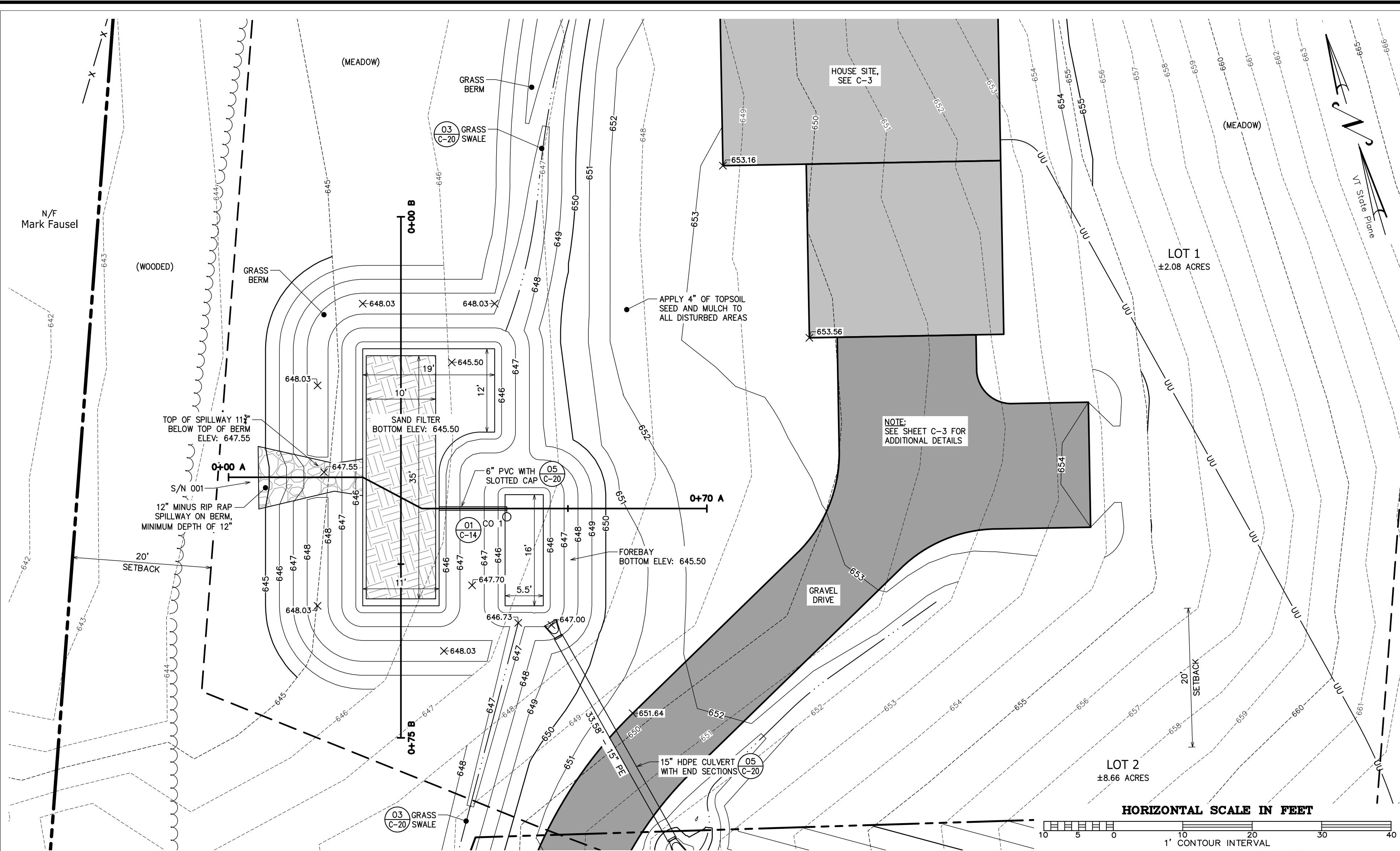
Richmond, VT

Hillview Road

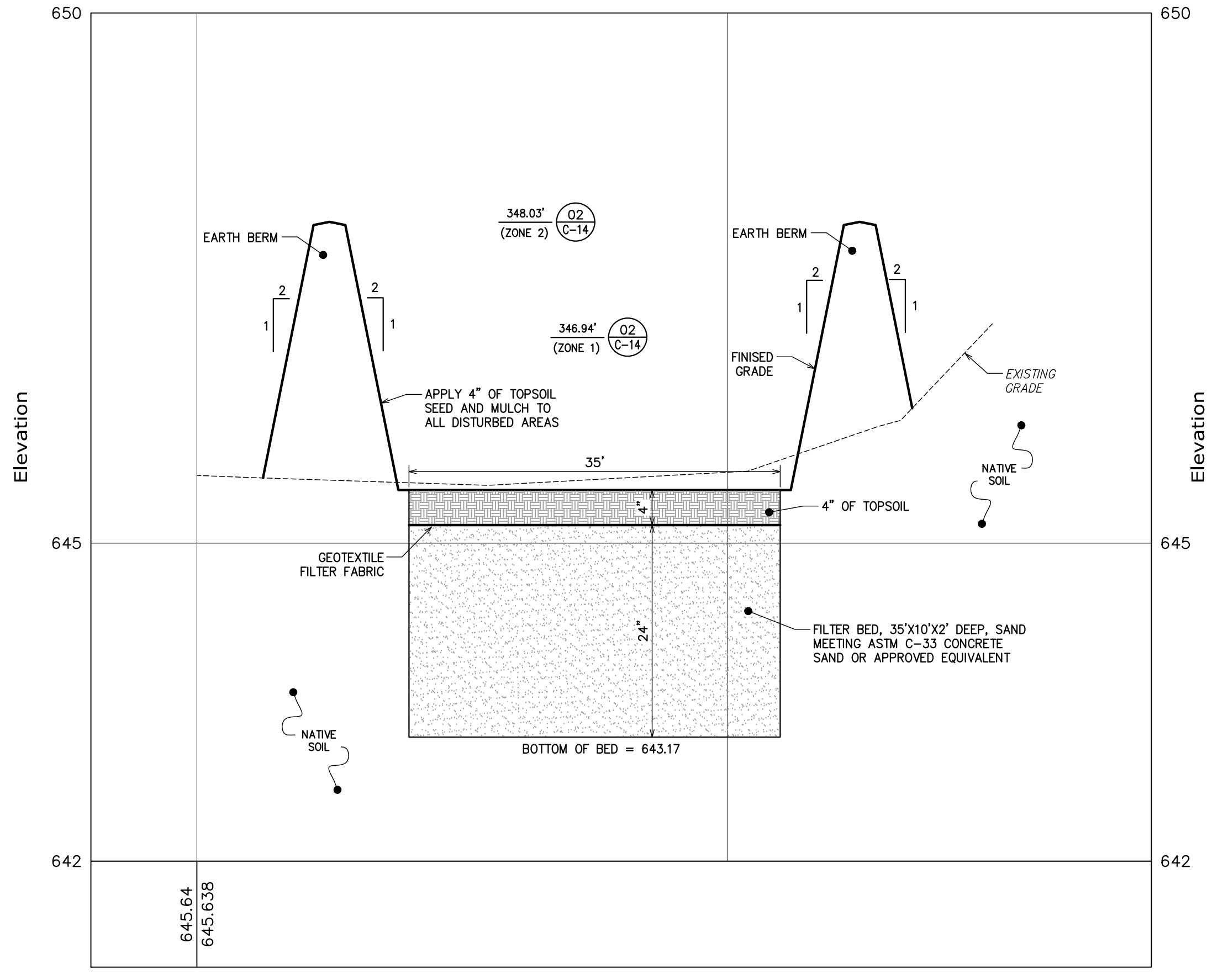
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C-13

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Section A-A -0+10 to 0+80 Profile
Horizontal Scale: 1" = 10'
Vertical Scale: 1" = 1'



Section B-B -0+10 to 0+90 Profile
Horizontal Scale: 1" = 10'
Vertical Scale: 1" = 1'

01 Perforated Standpipe
C-14 NOT TO SCALE

02 Pond Planting
C-14 NOT TO SCALE

Zone #	Elevation Range (ft)	Area (sq ft)	Example Species	Planting/Seeding Rate	Total Quantity
1	645.5 - 646.94	1,092	Moist Seed Mix	25 lbs / acre	0.63 lbs of Seed
2	646.94 - 648.03	923	Upland Seed Mix	25 lbs / acre	0.53 lbs of Seed

PERMITTING

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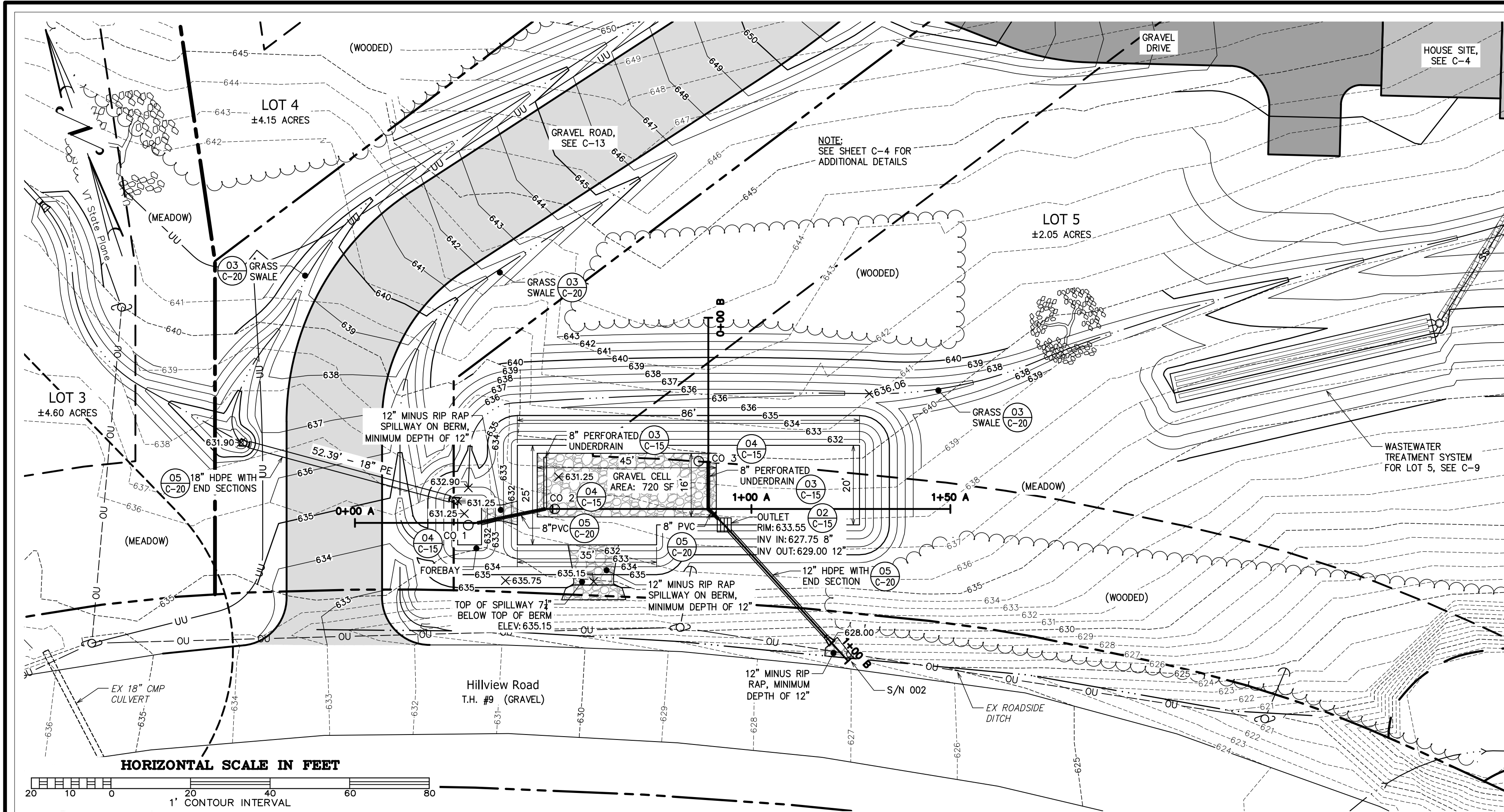
Filtering System Plan
And Profile

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South Burlington, VT

Hillview Heights Subdivision
Hillview Road
Richmond, VT

CIVIL
C-14

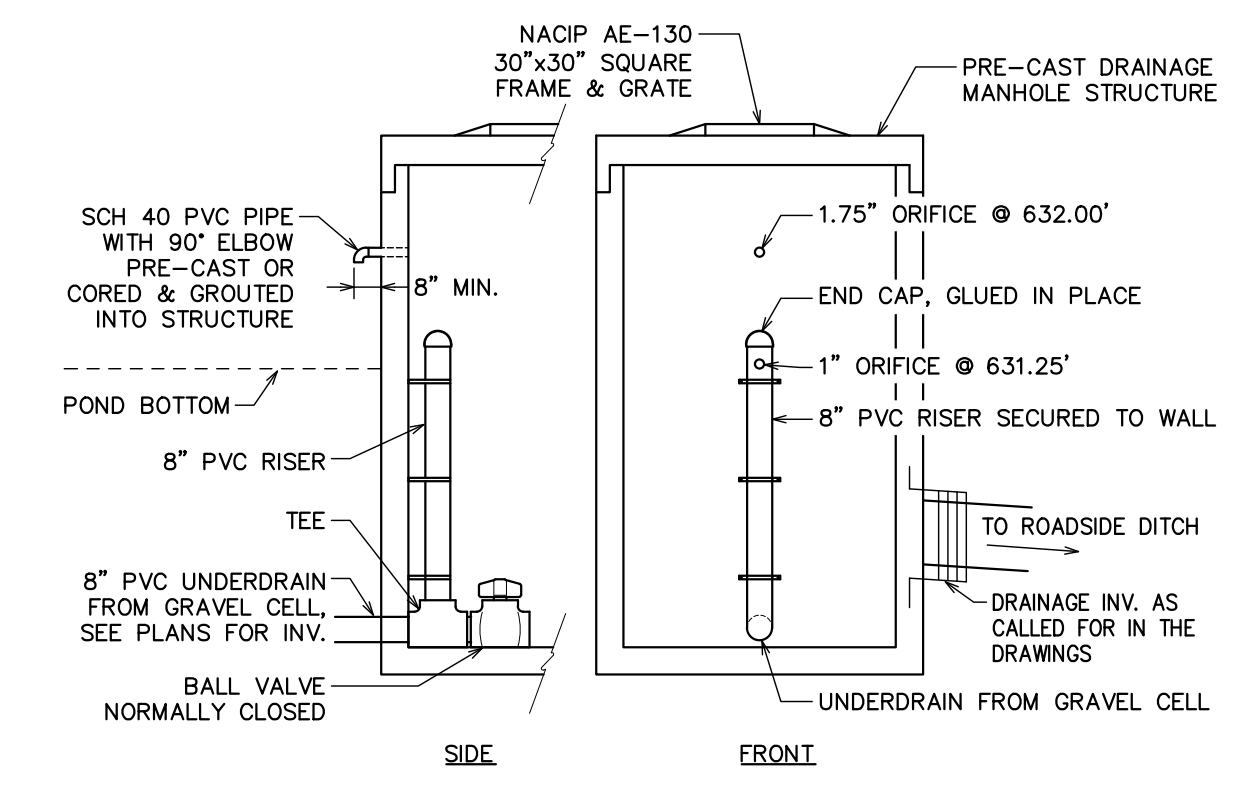
SHEET C-14 OF 20



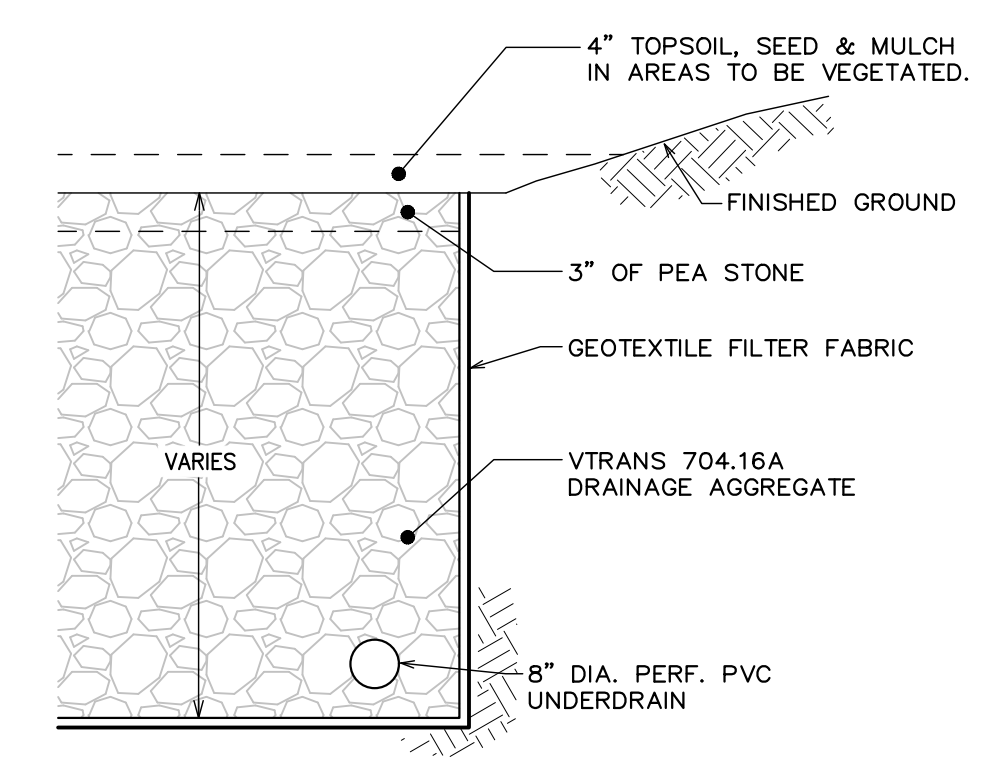
Pond Planting Plan

Zone #	Elevation Range (ft)	Area (sq ft)	Example Species	Planting/Seeding Rate	Total Quantity
1-2	631.25 (Gravel Wetland)	720	Water Lily, Water Celery, Pondweed, Northern Arrowhead, Softstem Bulrush	1 Plant / 4 sqft	180 Transplants
3	631.25 - 632.00	1,640	Moist Seed Mix	25 lbs / acre	0.94 lbs of Seed
4	632.00 - 635.75	2,190	Upland Seed Mix	25 lbs / acre	1.26 lbs of Seed

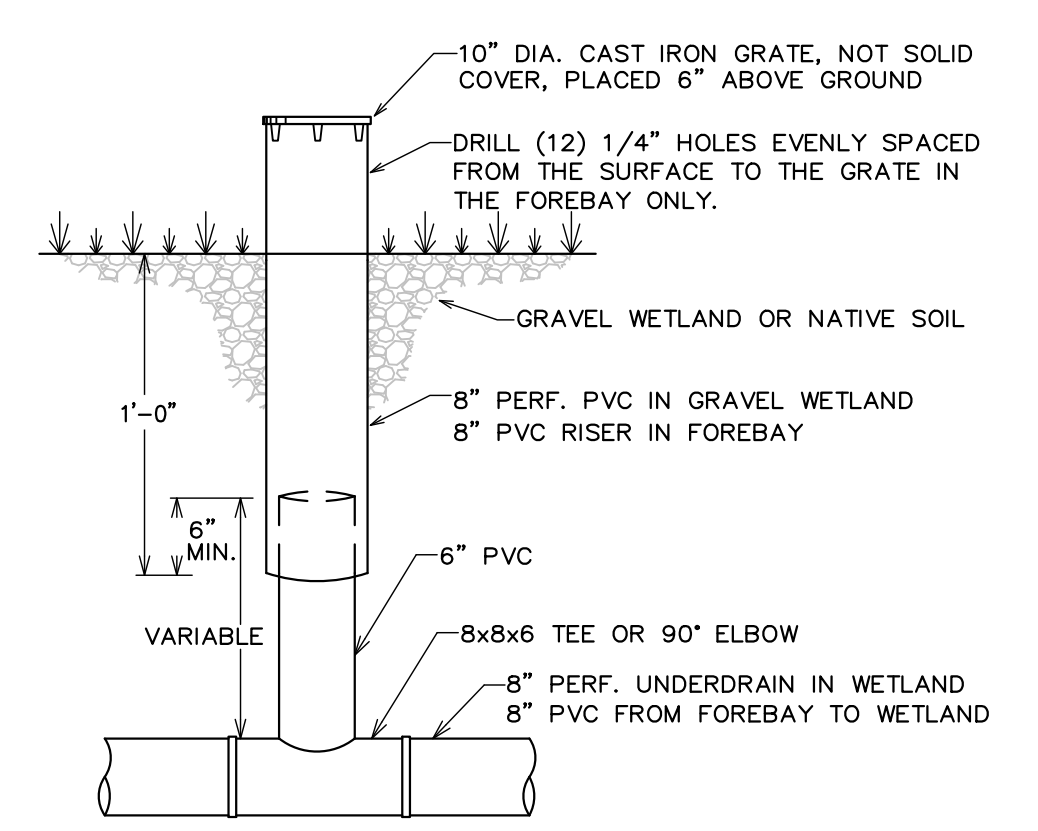
01 Pond Planting
C-15 NOT TO SCALE



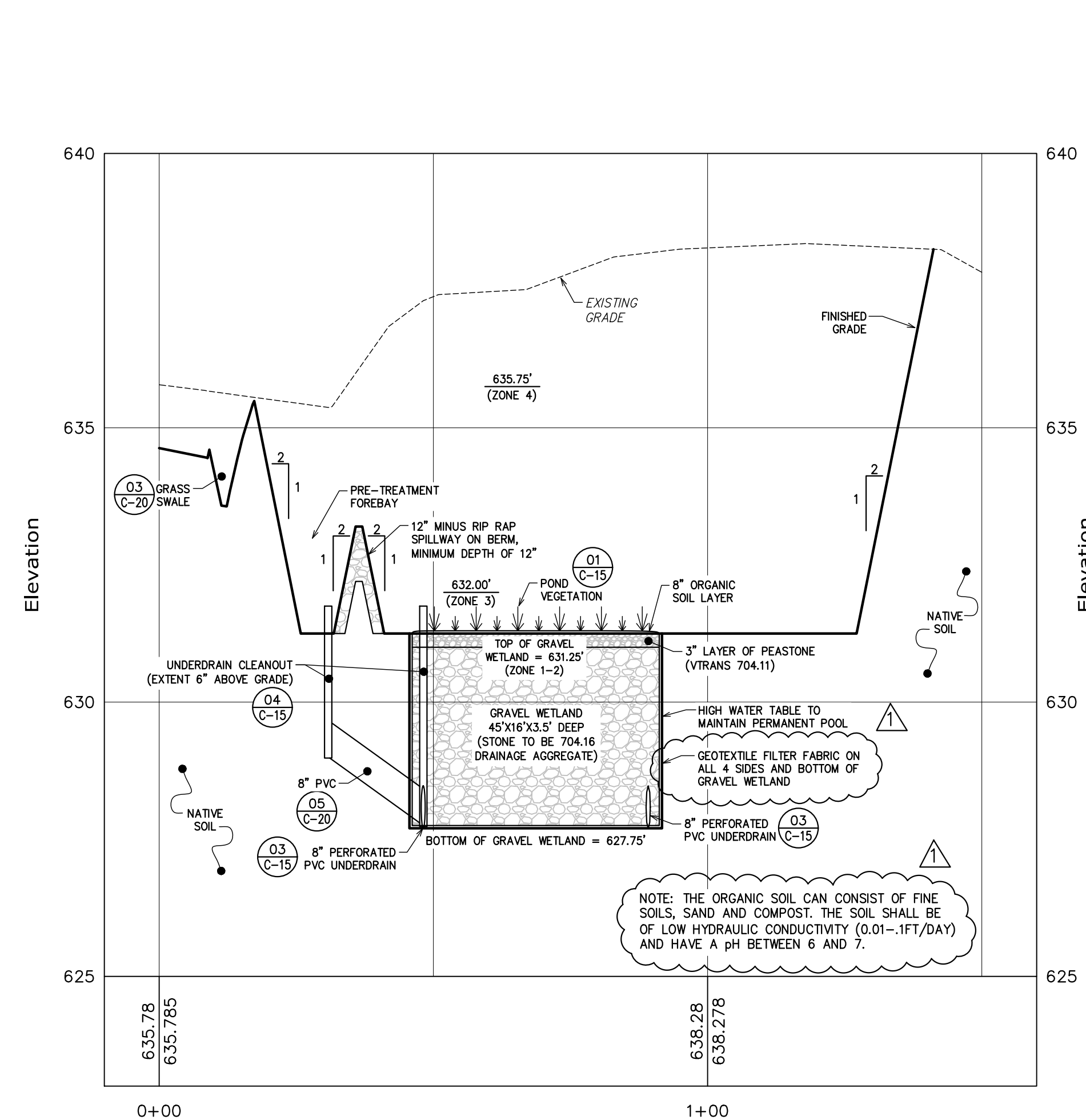
02 Outlet Structure
C-15 NOT TO SCALE



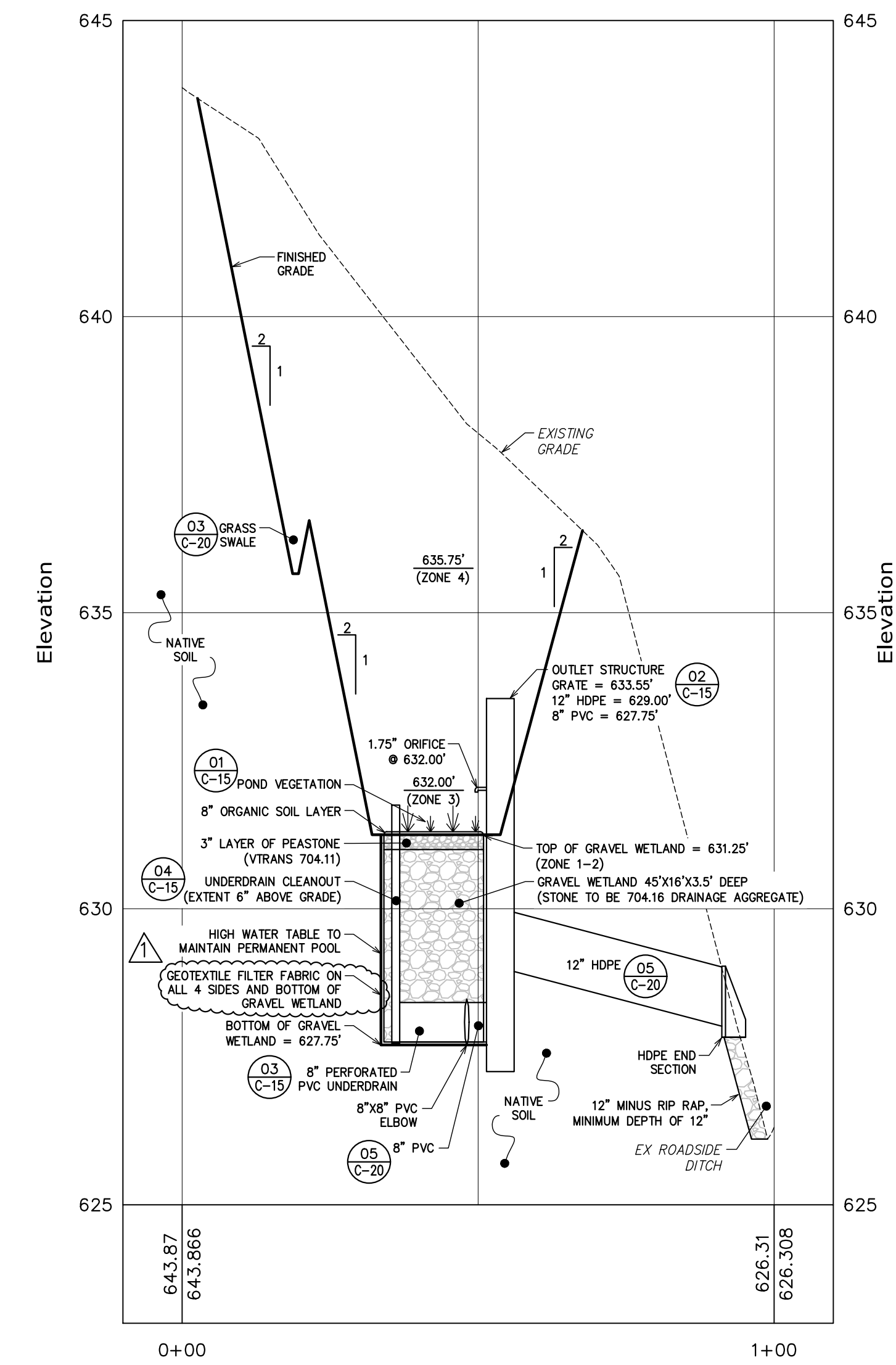
03 Perforated Underdrain
C-15 NOT TO SCALE



04 Underdrain Cleanout
C-15 NOT TO SCALE



Section A-A -0+10 to 1+60 Profile
Horizontal Scale: 1" = 20'
Vertical Scale: 1" = 2'



Section B-B -0+10 to 1+10 Profile
Horizontal Scale: 1" = 20'
Vertical Scale: 1" = 2'

Q:\2020 Drawings\20029 - Bob Avondis, Richmond\Current\C-15 Gravel Wetland 1 Plan And Profile.dwg Plotter: 6/22/2023 10:33:50 AM

Gravel Wetland 1 Plan
And Profile
Hillview Heights, LLC
 South Burlington, VT
Hillview Heights Subdivision
 Hillview Road
 Richmond, VT

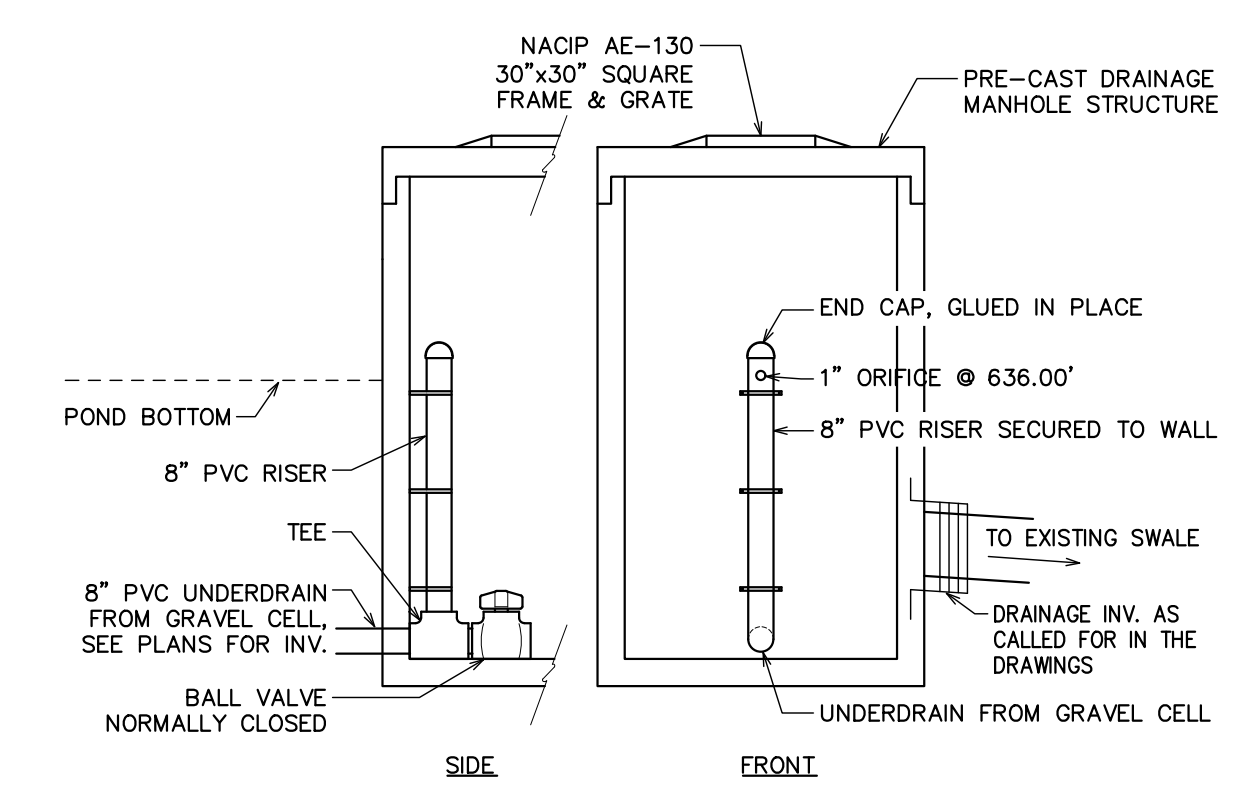
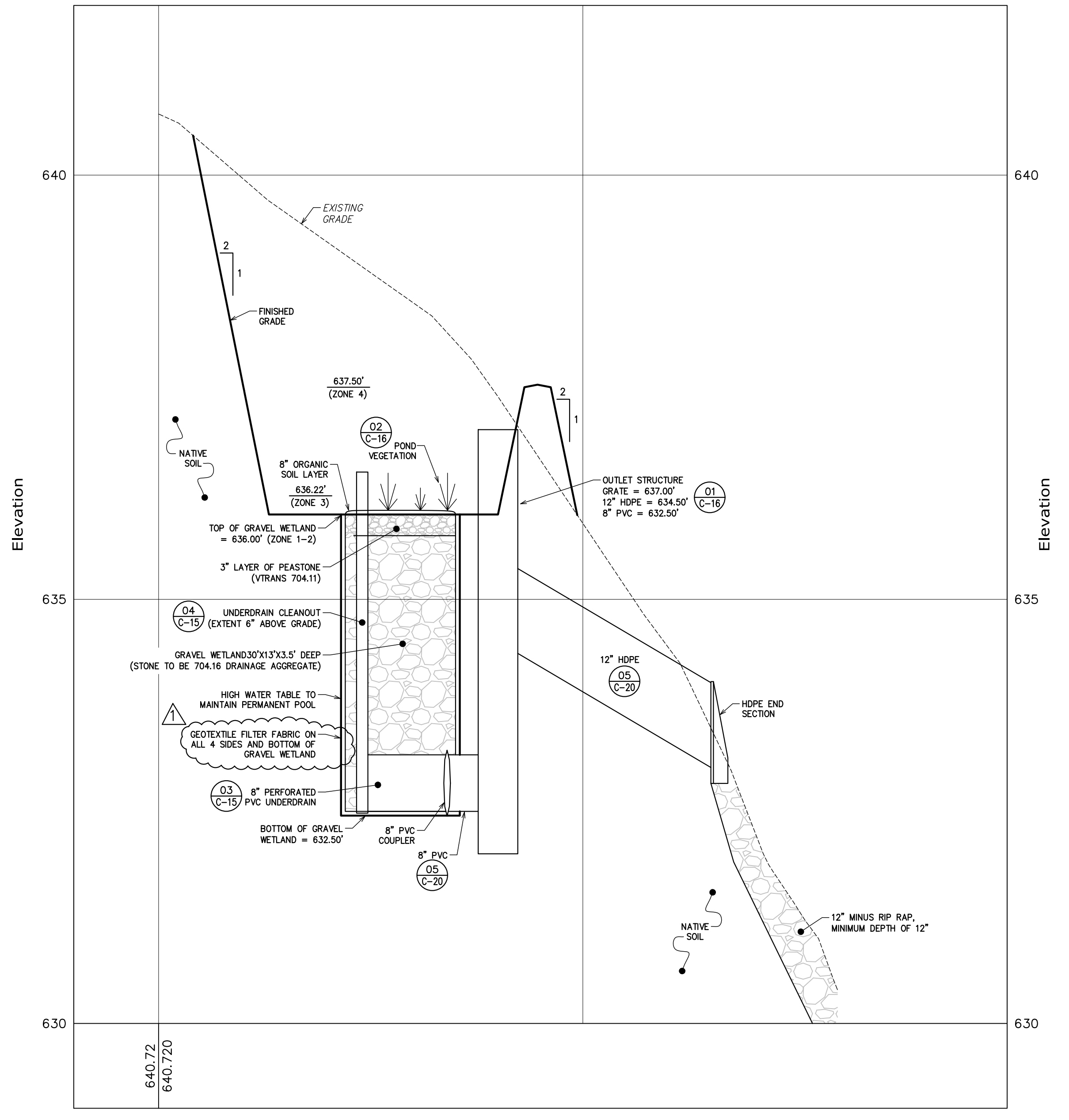
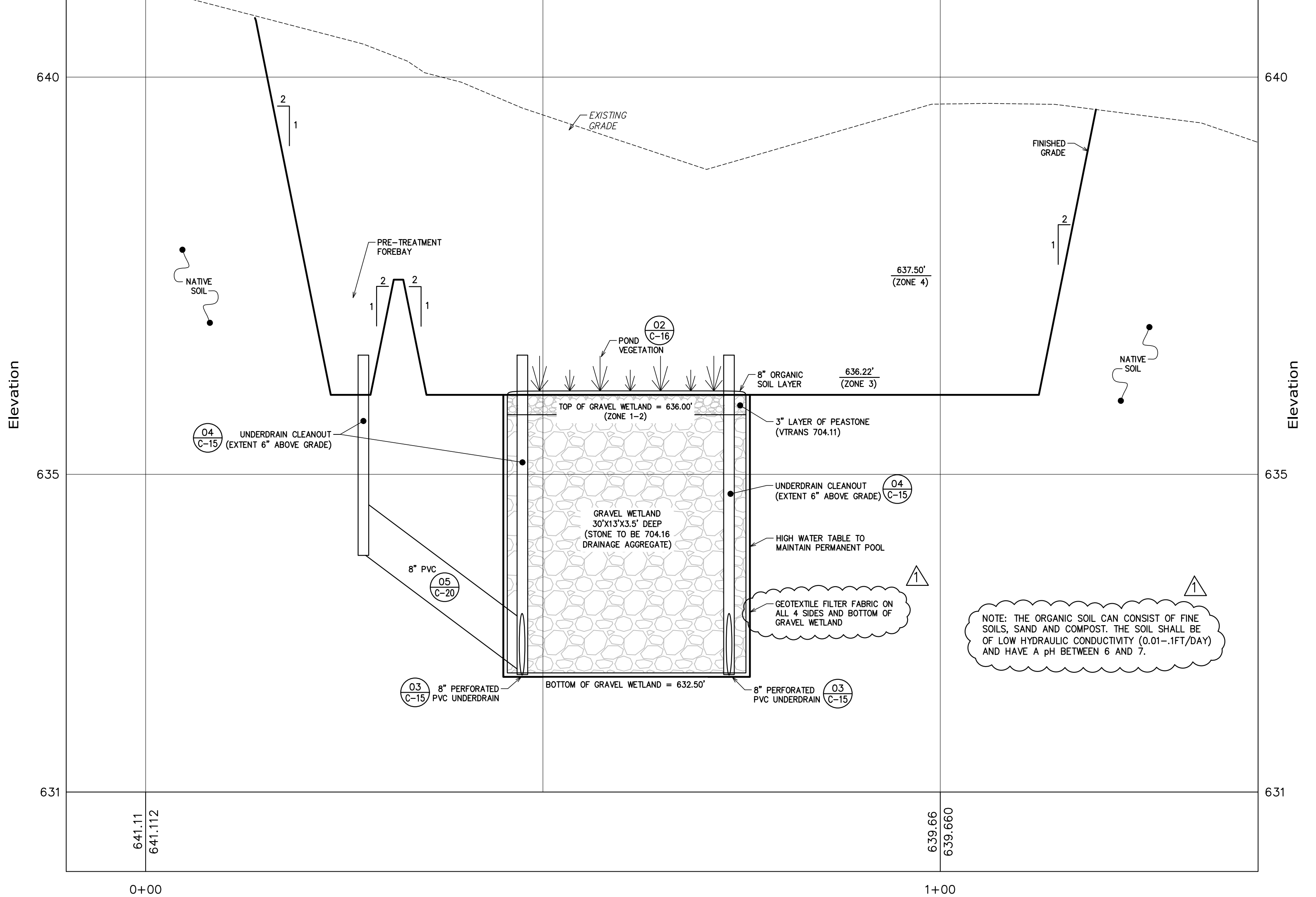
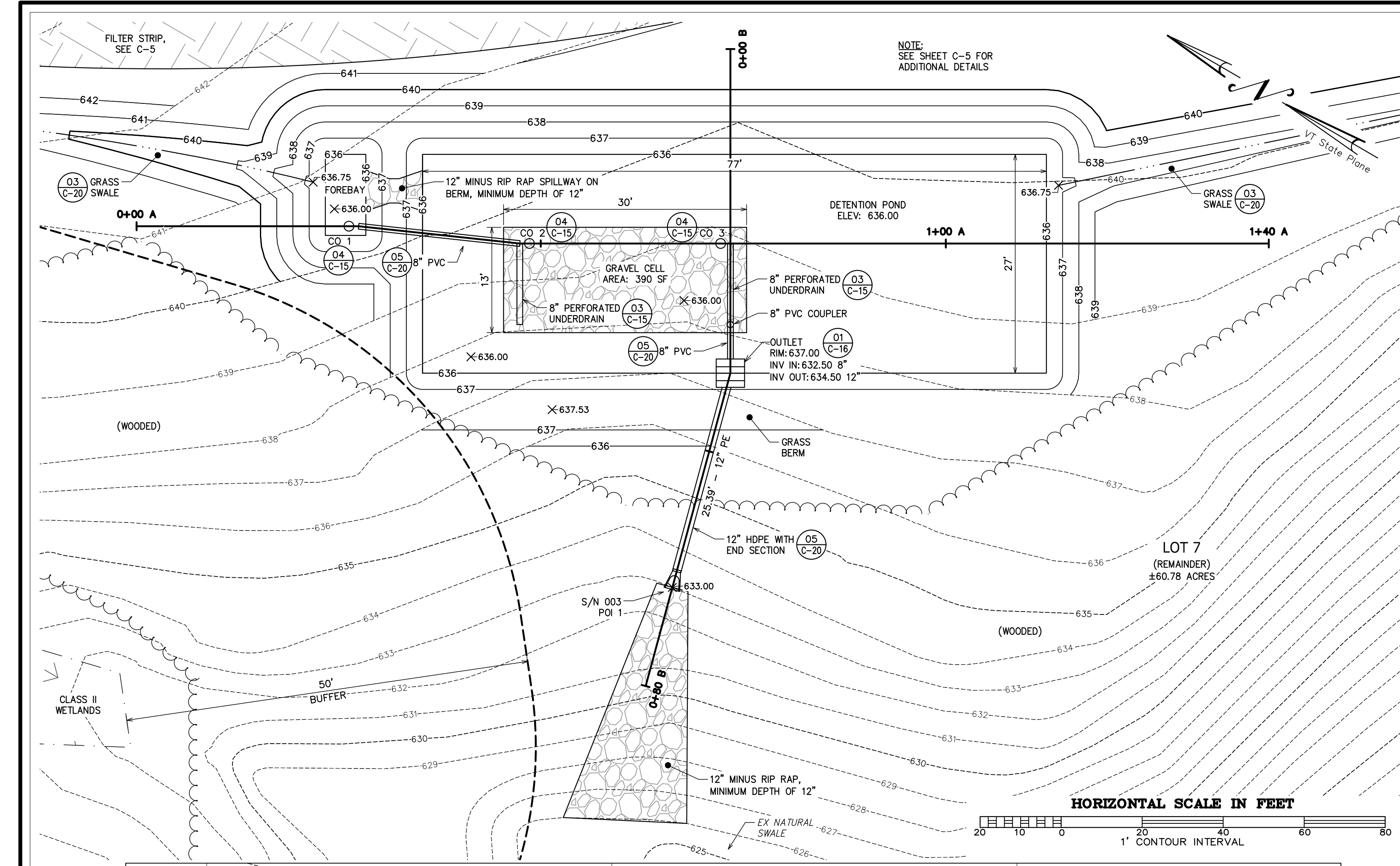
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C-15
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REVISION 05/21/2022: Added notes regarding organic soil composition and specifying where to install geotextile around the gravel cells.

PERMITTING



Pond Planting Plan

Zone #	Elevation Range (ft)	Area (sq ft)	Example Species	Planting/Seeding Rate	Total Quantity
1-2	636.00 (Gravel Wetland)	390	Water Lily, Water Celery, Pondweed, Northern Arrowhead, Softstem Bulrush	1 Plant / 4 sqft	98 Transplants
3	636.00 - 636.22	1,876	Moist Seed Mix	25 lbs / acre	1.08 lbs of Seed
4	636.22 - 637.50	749	Upland Seed Mix	25 lbs / acre	0.43 lbs of Seed

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 South Burlington, VT

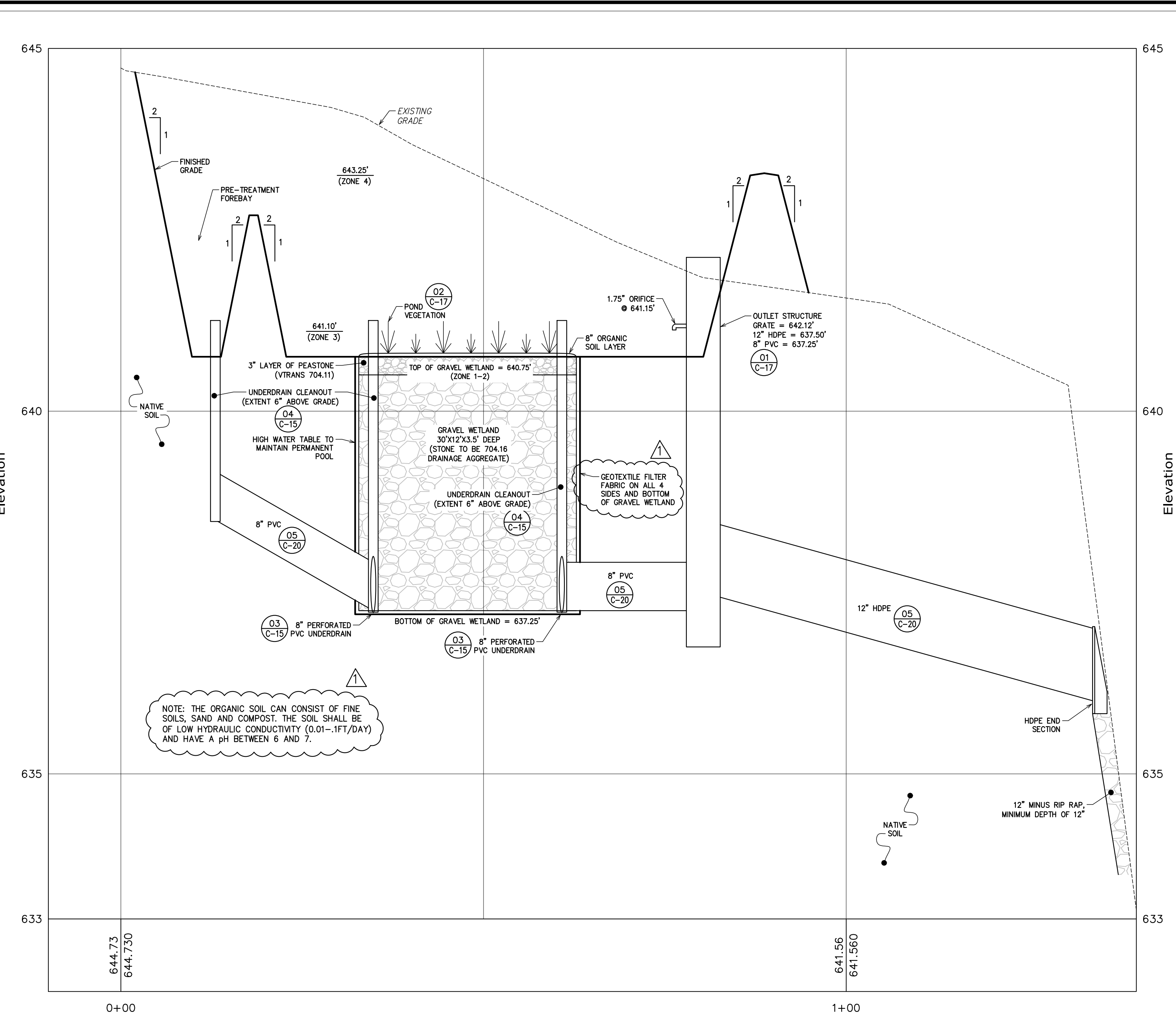
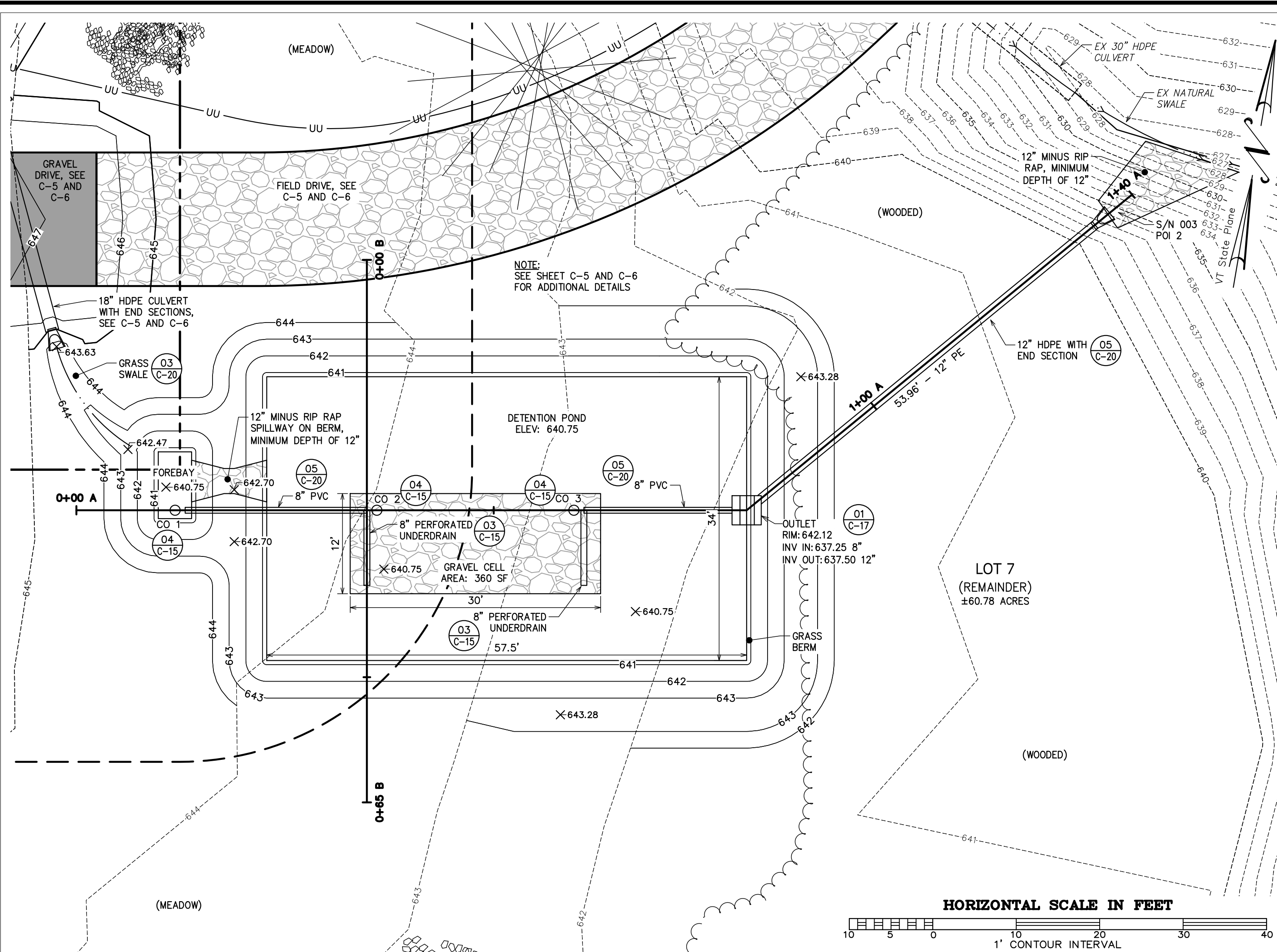
Hillview Heights Subdivision
 Hillview Road
 Richmond, VT

CIVIL
C-16

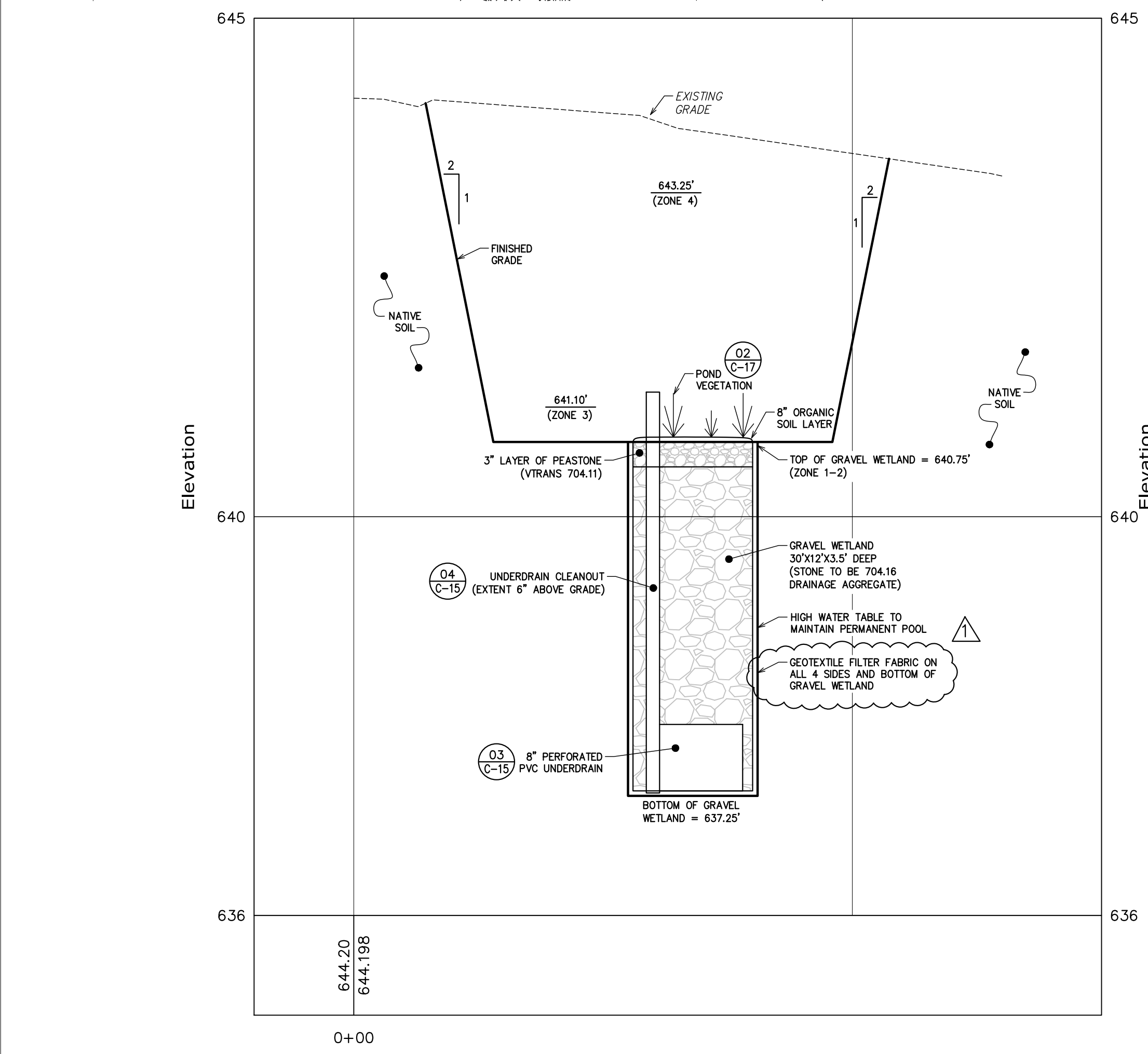
SHEET C-16 OF 20

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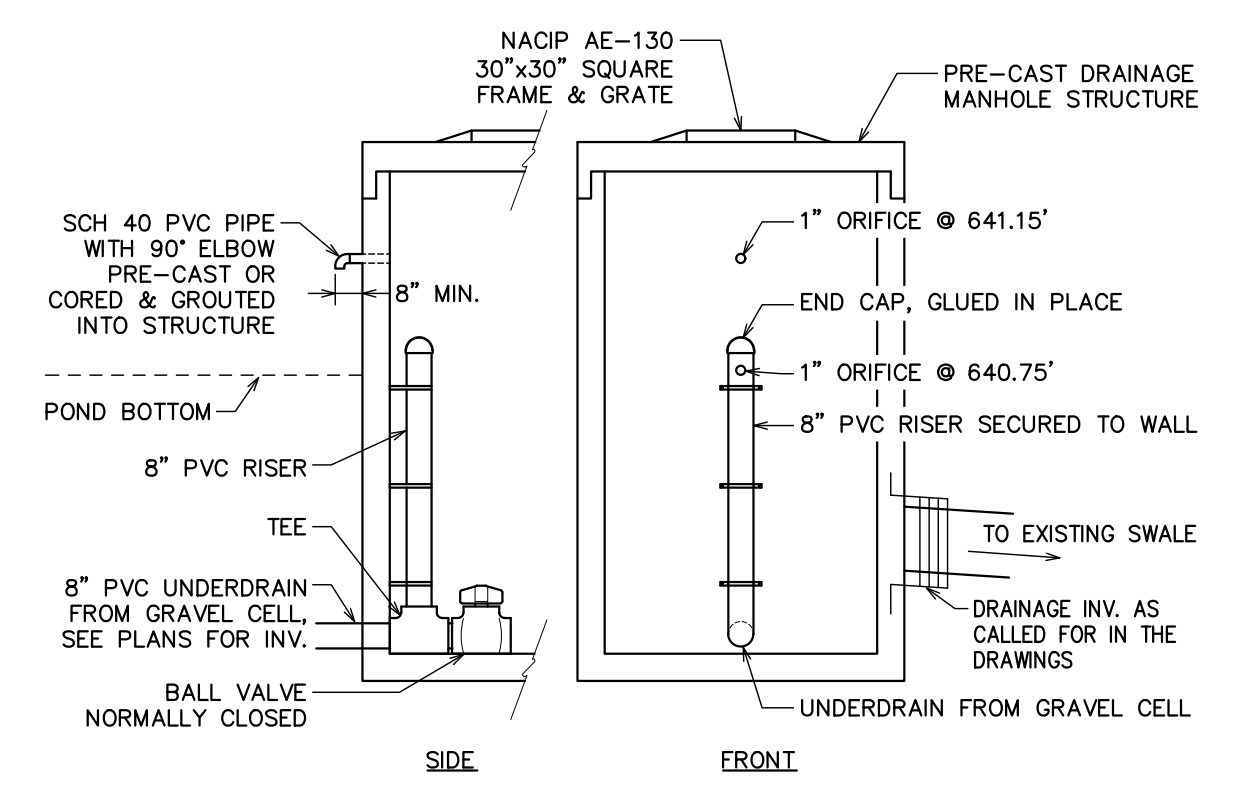
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Section A-A -0+10 to 1+40 Profile
 Horizontal Scale: 1" = 10'
 Vertical Scale: 1" = 1'



Section B-B -0+10 to 0+75 Profile
 Horizontal Scale: 1" = 10'
 Vertical Scale: 1" = 1'



01 Outlet Structure
 C-17 NOT TO SCALE

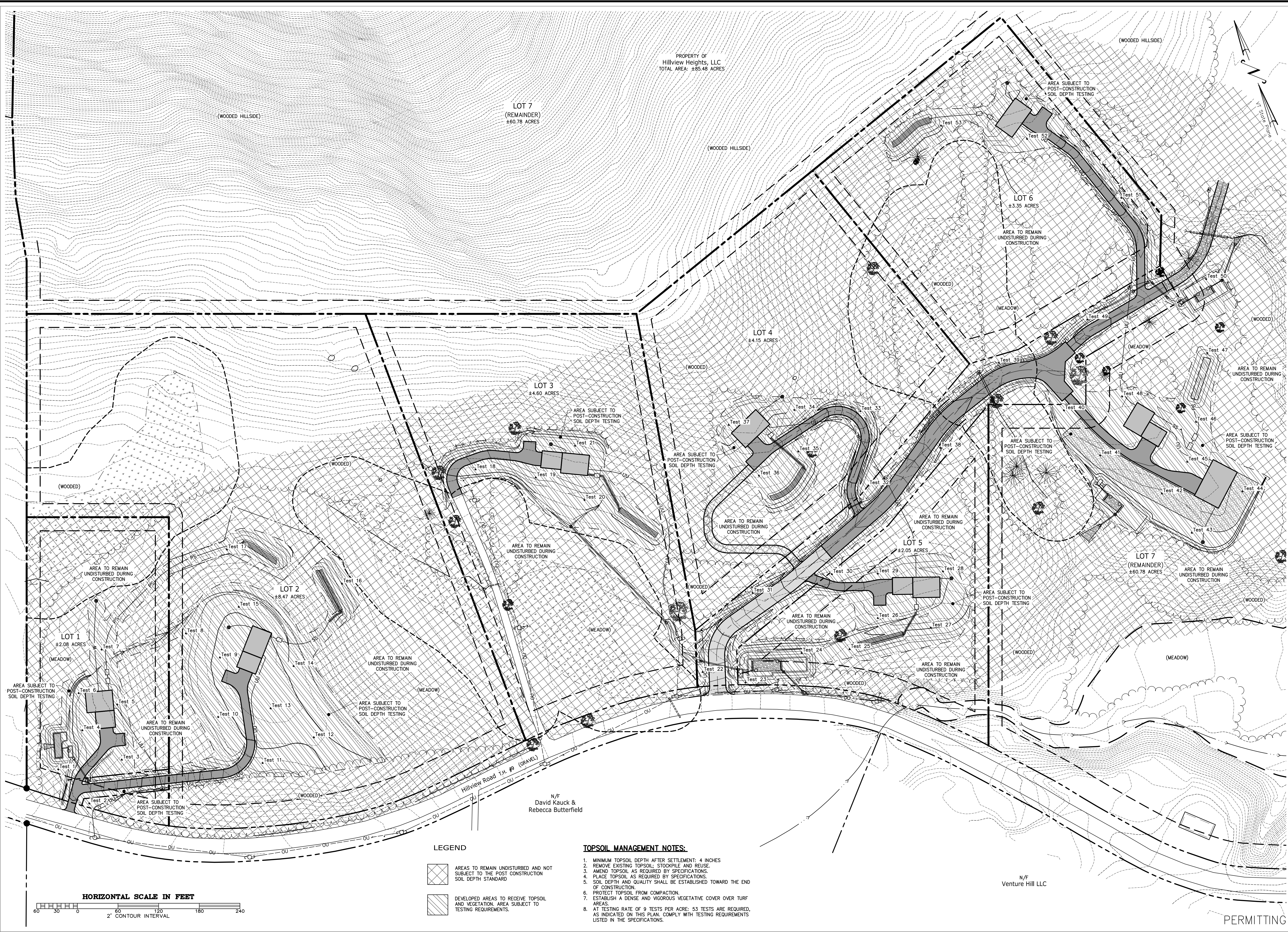
Pond Planting Plan					
Zone #	Elevation Range (ft)	Area (sq ft)	Example Species	Planting/Seeding Rate	Total Quantity
1-2	640.75 (Gravel Wetland)	360	Water Lily, Water Celery, Pondweed, Northern Arrowhead, Softstem Bulrush	1 Plant / 4 sqft	90 Transplants
3	640.75 - 641.10	1,819	Moist Seed Mix	25 lbs / acre	1.04 lbs of Seed
4	641.10 - 643.25	1,030	Upland Seed Mix	25 lbs / acre	0.59 lbs of Seed

02 Pond Planting
 C-17 NOT TO SCALE

PROJECT: 20029 DATE: February 23, 2022
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Gravel Wetland 3 Plan And Profile
 Hillview Heights, LLC South Burlington, VT
 Hillview Heights Subdivision Richmond, VT
 Hillview Road
 CIVIL
C-17
 SHEET C-17 OF 20

PERMITTING

Q:\2020 Drawings\20029 - Bob Avondale, Richmond\Current\C-18 Post-Construction Soil Depth Plan.dwg Plotter: 6/22/2023 10:32:22 AM



PROPERTY OF
Hillview Heights, LLC
TOTAL AREA: ±85.48 ACRES

LOT 7
(REMAINDER)
±60.78 ACRES

LOT 6
±3.35 ACRES

LOT 4
±4.15 ACRES

LOT 3
±4.60 ACRES

LOT 5
±2.05 ACRES

LOT 2
±8.47 ACRES

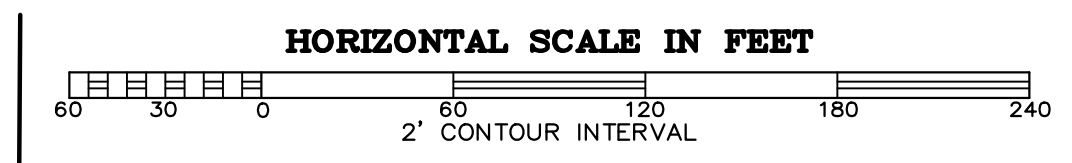
LOT 1
±2.08 ACRES

LOT 7
(REMAINDER)
±60.78 ACRES

LEGEND

	AREAS TO REMAIN UNDISTURBED AND NOT SUBJECT TO THE POST CONSTRUCTION SOIL DEPTH STANDARD
	DEVELOPED AREAS TO RECEIVE TOPSOIL AND VEGETATION. AREA SUBJECT TO TESTING REQUIREMENTS.

- TOPSOIL MANAGEMENT NOTES:**
1. MINIMUM TOPSOIL DEPTH AFTER SETTLEMENT: 4 INCHES
 2. REMOVE EXISTING TOPSOIL: STOCKPILE AND REUSE.
 3. AMEND TOPSOIL AS REQUIRED BY SPECIFICATIONS.
 4. PLACE TOPSOIL AS REQUIRED BY SPECIFICATIONS.
 5. SOIL DEPTH AND QUALITY SHALL BE ESTABLISHED TOWARD THE END OF CONSTRUCTION.
 6. PROTECT TOPSOIL FROM COMPACTION.
 7. ESTABLISH A DENSE AND VIGOROUS VEGETATIVE COVER OVER TURF AREAS.
 8. AT TESTING RATE OF 9 TESTS PER ACRE; 53 TESTS ARE REQUIRED, AS INDICATED ON THIS PLAN. COMPLY WITH TESTING REQUIREMENTS LISTED IN THE SPECIFICATIONS.



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**Post-Construction Soil
Depth Plan**

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South Burlington, VT
Hillview Heights Subdivision
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C-18

SHEET C-18 OF 20

PERMITTING

- GRAVEL WETLAND/DRY POND**
 (3) Subcatchments 2S, 3S, and 4S
- Inspect for and remove accumulated sediment.
 - Replace plants as necessary.
 - Inspect outlet structure; repair as necessary. Unclog orifices and outlet controls.
 - Inspect spillway; repair as necessary.
 - Remove vegetation greater than 2 inches in diameter.
 - Remove floating/floatable debris and trash.
 - Remove undesirable woody vegetation.
 - Inspect gravel bed for accumulated sediment.
 - Inspect and repair erosion.

- FILTERING SYSTEM/DRY POND**
 (1) Subcatchment 1S
- Inspect for and remove accumulated sediment.
 - Inspect spillway; repair as necessary.
 - Remove vegetation greater than 2 inches in diameter.
 - Remove floating/floatable debris and trash.
 - Remove undesirable woody vegetation.
 - Inspect sand bed for accumulated sediment.
 - Inspect and repair erosion.

- FILTER STRIP**
 (1) Subcatchment 3S
- Establish dense vegetative cover.
 - Protect area from development and clearing.
- SWALE (TYPICAL)**
- Clean out when 50% full of sediment, or as required.
 - Inspect and repair erosion.

LOT 7
 (REMAINDER)
 ±60.78 ACRES

PROPERTY OF
 Hillview Heights, LLC
 TOTAL AREA: ±85.48 ACRES

LOT 3
 ±4.60 ACRES

LOT 4
 ±4.15 ACRES

LOT 6
 ±3.35 ACRES

LOT 5
 ±2.05 ACRES

LOT 7
 (REMAINDER)
 ±60.78 ACRES

LOT 2
 ±8.47 ACRES

LOT 1
 ±2.08 ACRES

IMPERVIOUS NOTES:

1. ALL IMPERVIOUS AREAS (EXISTING AND PROPOSED GRAVEL AND PROPOSED ROOFTOPS) WITHIN THE SUBCATCHMENTS ARE BEING TREATED.
2. NO UNTREATED IMPERVIOUS AREAS DRAIN TO ONE OF THE FOUR STORMWATER TREATMENT SYSTEMS.
3. THE ONLY EXISTING IMPERVIOUS BEING TREATED IS A PORTION OF HILLVIEW RD WITHIN SUBCATCHMENT 1S.
4. THE EXISTING GRAVEL DRIVE ON LOT 3 IS NOT BEING TREATED AS IT DOES NOT DRAIN TO ONE OF THE 4 TREATMENT SYSTEMS AND IT IS NOT BEING REDEVELOPED.
5. THE FIELD DRIVE EXTENDING PAST THE DRIVE TO LOT 6 IS EXISTING AND PRIMARILY GRASS. IT IS SIMPLY DEPICTED FOR GRAPHICAL PURPOSES CONTINUING FROM THE END OF THE PROPOSED GRAVEL DRIVE.

STORMWATER MANAGEMENT NOTES:

1. INSPECT PROPERTY FOR EROSION AFTER MAJOR RAINFALL EVENTS.
2. MAINTAIN A DENSE AND VIGOROUS VEGETATIVE COVER OVER TURF AREAS.
3. PROPERLY DISPOSE OF SEDIMENT REMOVED FROM SYSTEM.

SUBCATCHMENT 1S IMPERVIOUS NOTES

TOTAL AREA:	2.285ac
TOTAL IMPERVIOUS:	0.412ac
PROPOSED GRAVEL:	0.172ac
PROPOSED ROOFTOP:	0.088ac
EXISTING GRAVEL:	0.152ac

SUBCATCHMENT 2S IMPERVIOUS NOTES

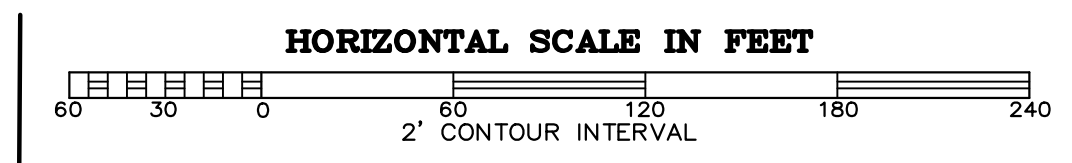
TOTAL AREA:	3.905ac
TOTAL IMPERVIOUS:	0.547ac
PROPOSED GRAVEL:	0.423ac
PROPOSED ROOFTOP:	0.124ac

SUBCATCHMENT 3S IMPERVIOUS NOTES

TOTAL AREA:	1.423ac
TOTAL IMPERVIOUS:	0.339ac
PROPOSED GRAVEL:	0.239ac
PROPOSED ROOFTOP:	0.100ac

SUBCATCHMENT 4S IMPERVIOUS NOTES

TOTAL AREA:	2.071ac
TOTAL IMPERVIOUS:	0.268ac
PROPOSED GRAVEL:	0.234ac
PROPOSED ROOFTOP:	0.034ac



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PROJECT: 20029
 DATE: February 23, 2022
 DESIGN: PJG
 DRAWN: RHW/NRB
 CHECKED: PJG
 APPROVED: PJG

CROSS CONSULTING ENGINEERS, P.C.
 103 Fairfax Rd.
 St. Albans, Vermont 05478
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Stormwater Maintenance Plan

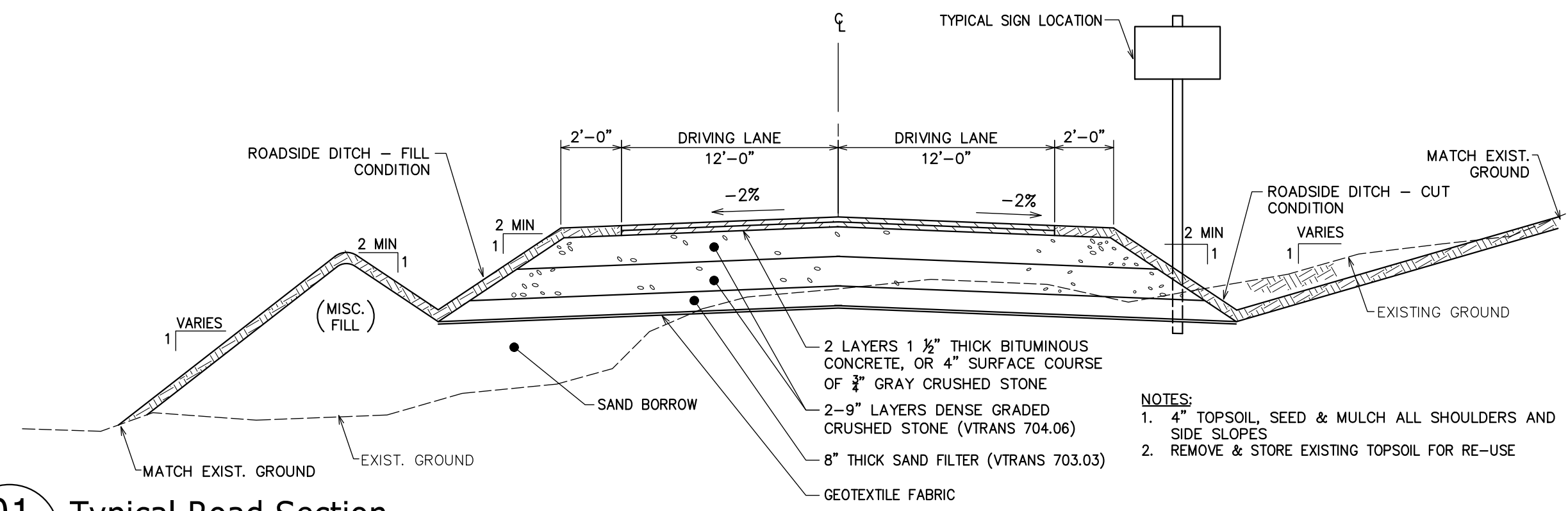
Hillview Heights, LLC
 South Burlington, VT
Hillview Heights Subdivision
 Hillview Road
 Richmond, VT

CIVIL

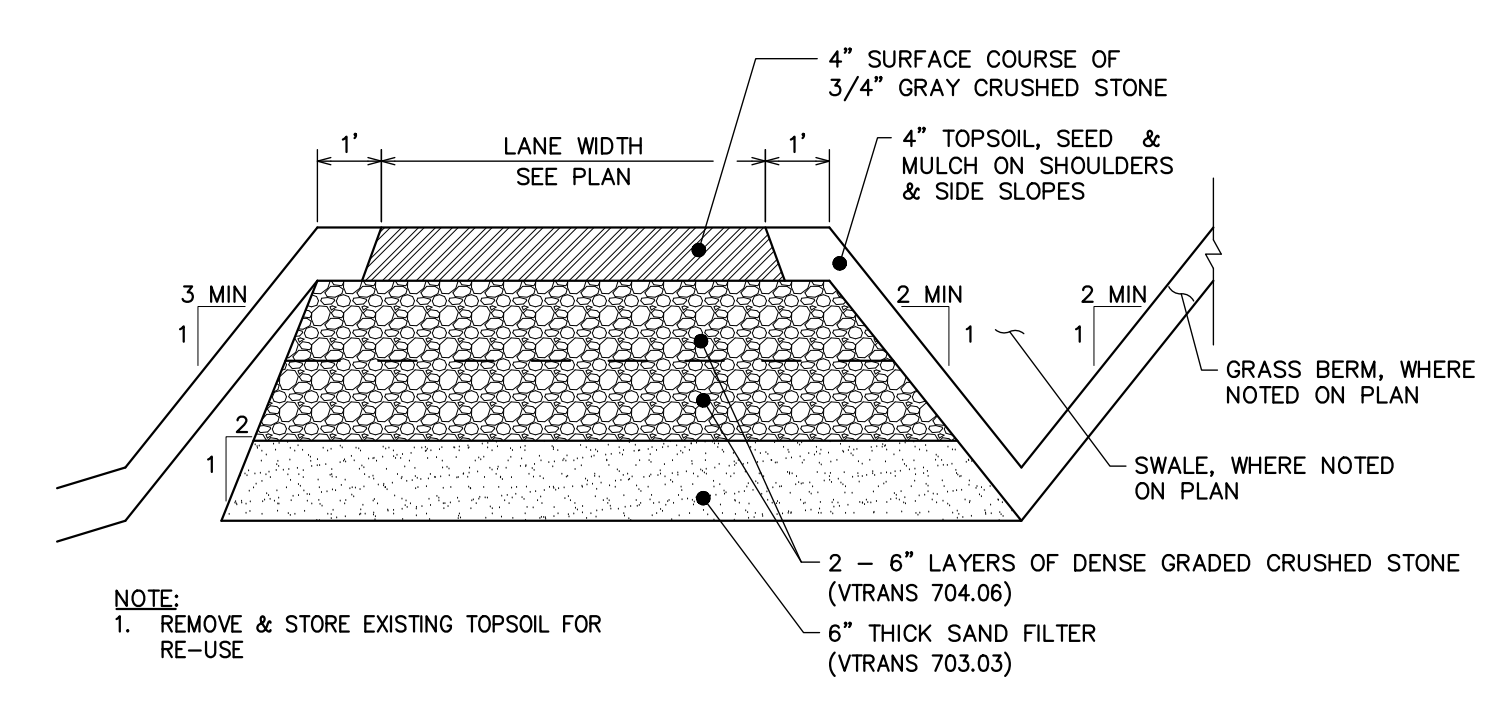
C-19

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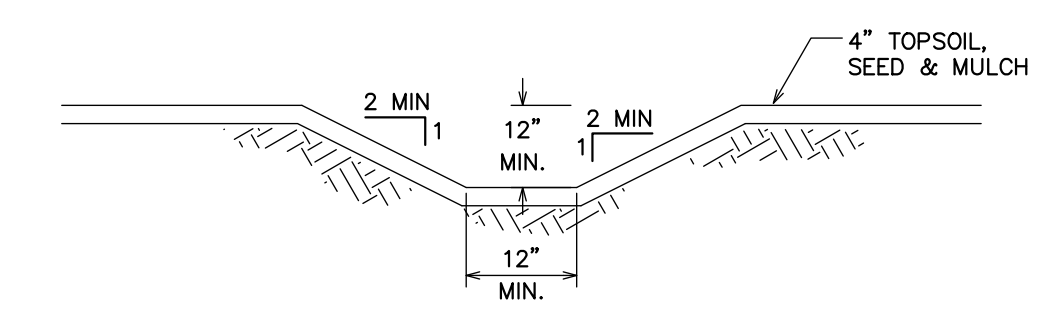
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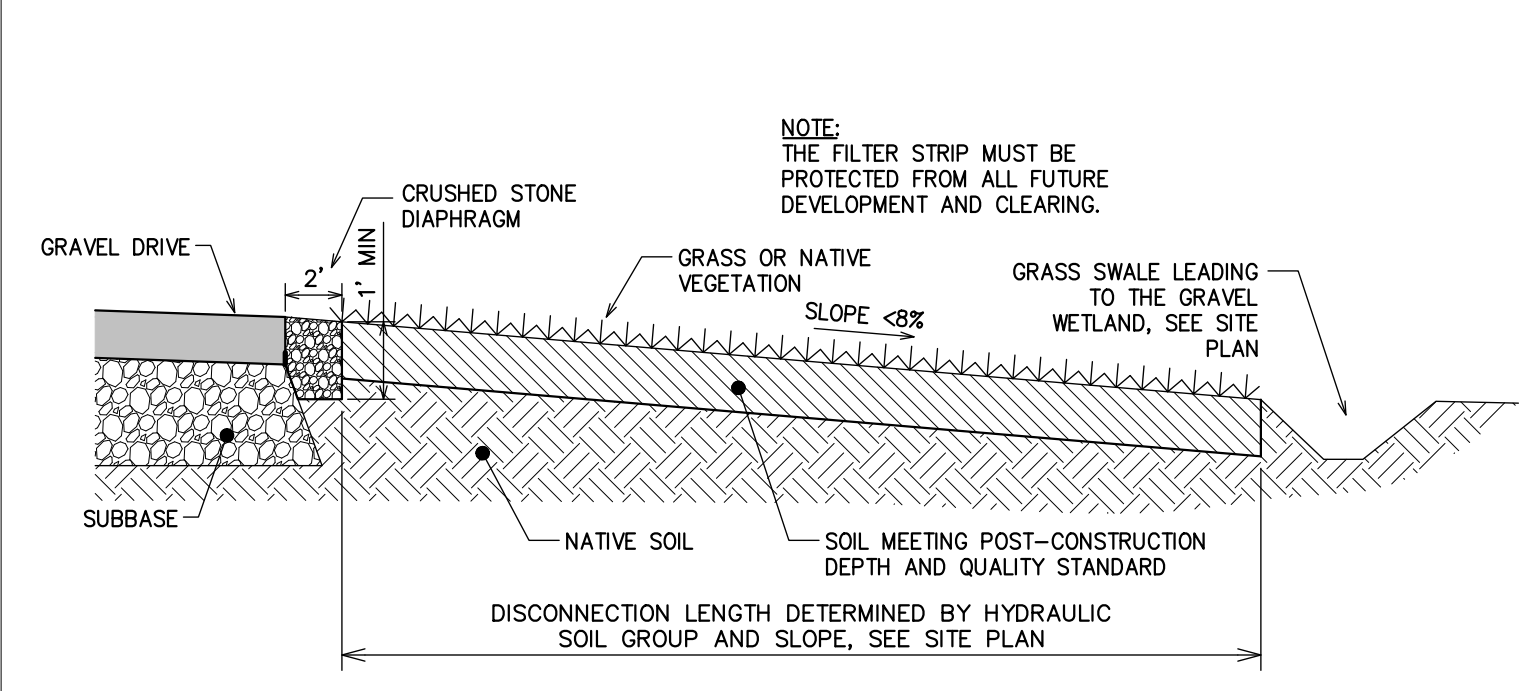
01 Typical Road Section
C-20 NOT TO SCALE



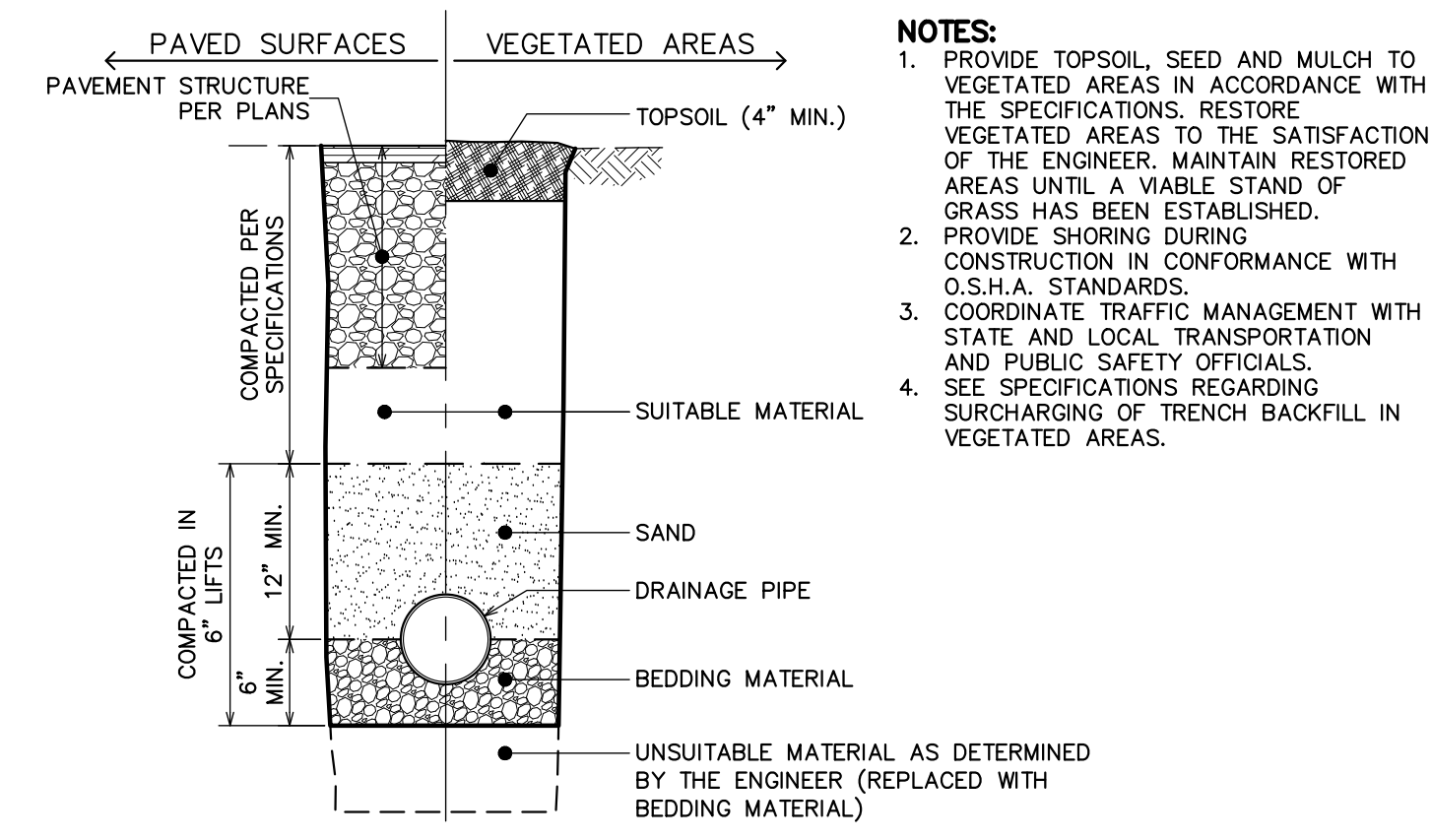
02 Typical Driveway Section
C-20 NOT TO SCALE



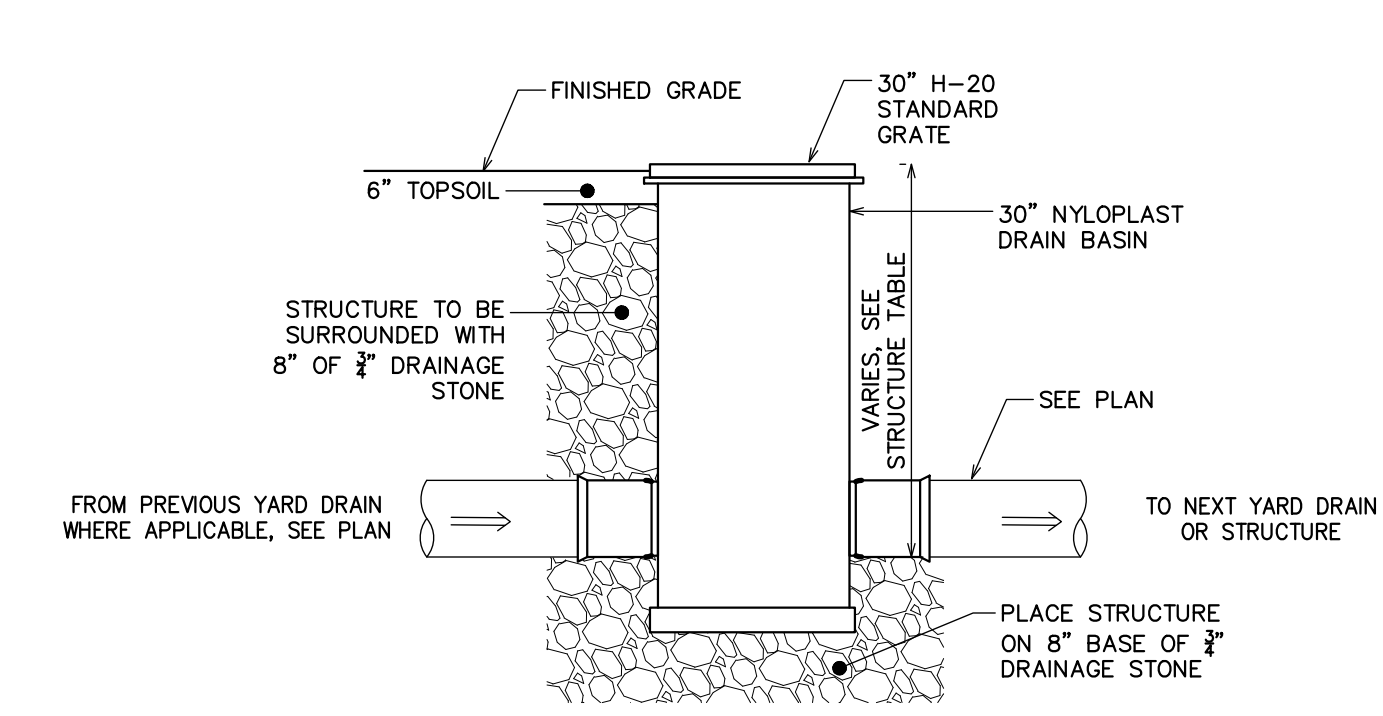
03 Typical Swale Section
C-20 NOT TO SCALE



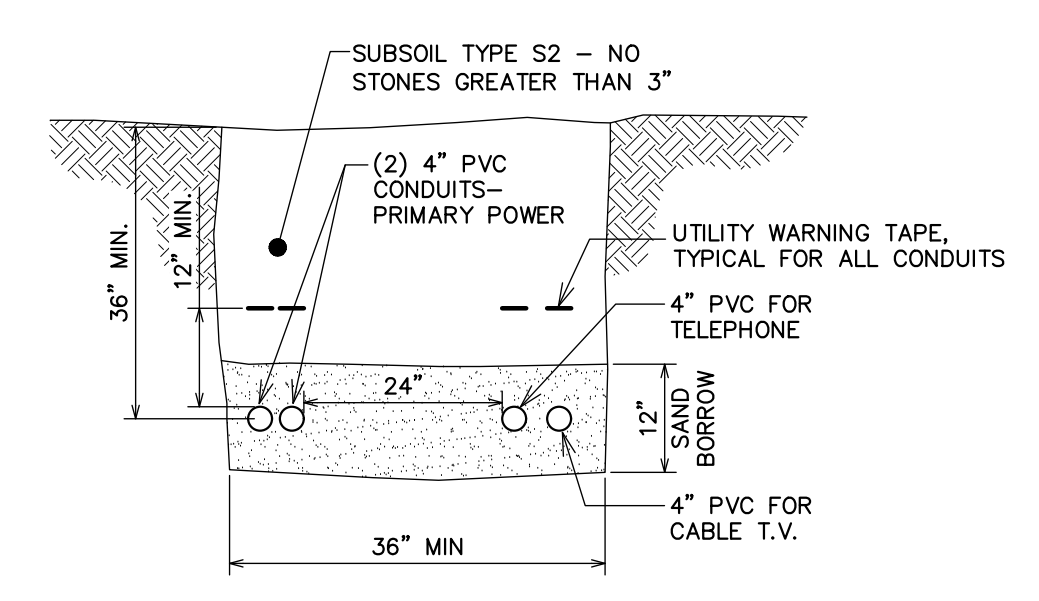
04 Filter Strip
C-20 NOT TO SCALE



05 Stormdrain Trench
C-20 NOT TO SCALE



06 Yard Drain
C-20 NOT TO SCALE



07 Typical Utility Trench
C-20 NOT TO SCALE

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St. Albans, Vermont 05478
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Details

Hillview Heights, LLC
South Burlington, VT
Hillview Heights Subdivision
Hillview Road
Richmond, VT

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C-20
SHEET C-20 OF 20

PERMITTING

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